



CITY OF MIAMI

INFRASTRUCTURE GROUP

Annual Report
2023-2024 FISCAL YEAR







TABLE OF CONTENTS

INTRODUCTORY SECTION

Message from the Chief Infrastructure Officer	6
Mission of Infrastructure Group.	8
Organizational Chart / Leadership Team	10

<i>The Untold Story of Miami</i>	12
---	-----------

Building Department

Mission of the Building	17
Leadership Team	18

Key Performance Indicators & Achievements

New Building Permit Applications.	20
Number of Permits Issued.	20
Construction Value of Permits.	21
Up-front Fees, Revenue Collections	21
Completed Inspections	22
Unsafe Structures Demolitions	24
Unsafe Structures Recertifications	25
Unsafe Structures 10 Years Trend of Recertifications.	27
Crane Reports.	29
New Florida Building Code	32
New Permitting Enterprise.	33
Enhanced services for Residential Customers	34
Enhanced Services for Commercial Customers (Concierge Program)	35
Expedited Plan Review	35
Joint Plan Reviews	36
Affordable Housing	36
On-going Initiatives Building Department	37

Capital Improvements (OCI)

Mission of OCI.	39
Leadership Team	40

Key Performance Indicators & Achievement

Engagement with Communities	41
Municipal and Public Facilities Improvements	
Park Improvements	
Sea Level Rise Mitigation	
Enhancement of Public Spaces	42
Kenneth Myers Park	
Shenandoah Park Playground	
Virginia Key Basin Trail	
Anonio Maceo Park	
Fairlawn Park	
Stormwater Master Plan Implementation	43
Outreach and Engagement	44
Number of Capital Completed Construction Projects.	45
Value of Completed Construction Projects	46
On-going future Initiatives	47
On-going System Administration Status (eBuilder / SharePoint)	48



TABLE OF CONTENTS (cont'd.)

Planning

Mission of The Planning Department	51
Legislative Highlights.	52
Leadership Team.	53

Key Performance Indicators & Achievements

Comprehensive Planning Division.	54
Demographics.	55
Hearing Boards Division	56
Planning Boards Cases from 2020 to 2024	
Code Enforcement Boards from 2020 to 2024	
The Urban Design Division	57
Special area plans (SAPs)	58
Art in Public Places (AIPP) program	
Historic Preservation Division	59
Land Development Division.	60

Resilience and Public Works

Mission of The Resilience and Public Works Department.	63
Leadership Team.	64

Key Performance Indicators & Achievement

Stormwater Management	66
Regulatory Measures	
Localized Projects	
Public Infrastructure	
Data Management	
Roadway Infrastructure Division	67
Roadway Infrastructure Projects	
RPW - Development Permits	72
Right-of-Way Permitting and Inspections.	73
Citywide Storm Sewer Repairs and Installation	74
Platting and Right-of-Way Dedication Process	75
Survey Section Services	
Urban Forestry - Tree Planting and Grants	76
Maintenance Operations.	77
Sidewalks	
Trash holes	
Potholes	78
Storm Sewer - Tree Trimming	79
City of Miami Trolleys	80
Traffic Studies	81
On-going future Initiatives	82



TABLE OF CONTENTS (cont'd.)

Resilience and Sustainability

Mission of Resilience and Sustainability	85
Leadership Team	87

Key Performance Indicators & Achievements

Miami Forever Climate Ready Strategy	88
Goal 1: Ensure decisions are data-driven and human centered	89
Green Gas House Emissions / Miami Forever Climate Ready Strategy	90
Goal 2: Inform, prepare and engage residents and businesses /	
Community Emergency Response Team (CERT)	91
King Tide Coordination / Heat Alert Notifications	92
Resilience Hubs / Assisted Living Facilities (ALF) and Nursing Homes	93
Goal 3: Protect and enhance our waterfront	94
Miami Forever Climate Ready Strategy/Leave No Trace/Nature-Based Solutions	95
Goal 4: Invest in resilient and smart public infrastructure/Stormwater Master Plan	96
Goal 5: Promote adaptive neighborhoods and buildings	97
Evaluation & Appraisal Review	98
Freeboard Update	
Park Score	
Drainage Recertification Program	
Howden Insurance Fellowship	
Miami Forever Carbon Neutral	99
City's greenhouse gas (GHG)	
Electric Ride-Sharing Expansion	
Graham Greenway	
EV Task Force/ E – ENERGY EFFICIENCY / BE305	100
R – RENEWABLE ENERGY	
Energy Efficient City Buildings / Energy Star Certification / Green Roofs	101
R – RENEWABLE ENERGY	102
E – ELECTRIC VEHICLES / FPL Evolution	103
New Economy / Climate Resilience Tech Hub	104
Additional Enabling Actions / Annual Earth Day Celebration / Tree Give Away	105
Ready, Set, Grow program / Southeast Florida Regional Climate Leadership	106

Zoning Department

Mission of The Zoning Department	109
Leadership Team	110

Key Performance Indicators & Achievements

New Building Permit Applications	111
Special Permits Applications Submitted (Zoning)	112
Certificates of Use Applications (CUs) / Certificates of Occupancy (CO)	113
Revoking Certificates of Use	114
Zoning Verification Letter (ZVL)	115
Alcohol Beverage Applications	116
Alcohol Beverage Alcohol - Reservation Letter	117
Affordable Housing Applications Processed	118
On-Going Initiatives	119
Acknowledgments	122

CITY OF MIAMI
**INFRASTRUCTURE
GROUP**



EDUARDO SANTAMARIA
Director of Building



JOSE PEREZ
Director of Capital
Improvements



DAVID SNOW
Director of Planning



JUVENAL SANTANA JR.
Director of Resilience and
Public Works



SONIA BRUBAKER
Chief Resilience Officer &
Director of the Office of
Resilience and Sustainability



TAMARA FROST
Director of Zoning



From the **Chief Infrastructure Officer**

I am thrilled to share our first edition of The Infrastructure Group's Annual Report for the fiscal year 2023-24 for the City of Miami.

This fiscal year; from October 1st, 2023, to September 30th, 2024, is marked by significant achievements, strong performance and sustainable trends of growth in all areas of the Infrastructure Group; Building, Capital Improvements, Planning, Public Works, Resilience and Sustainability and Zoning.

We set new records in every area of the group.

In **Building**, the team achieved a record-breaking year, completing nearly 205,000 inspections - a 12% increase over the previous year. They issued 29,000 permits for new construction projects, reaching an impressive record value exceeding \$4 billion. Additionally, the team continued to secure substantial upfront fees for future projects.

In the area of **Capital Improvements**, we implemented the Stormwater Master Plan, a forward-thinking strategy to strengthen stormwater infrastructure, reduce flooding, and improve water quality—underscoring Miami's dedication to resilience. Additionally, we constructed numerous seawalls for shoreline stability, upgraded sidewalks, boat ramps, and docks, and undertook various projects to redesign and rejuvenate parks. These efforts enhance safety, increase visitor engagement, and promote historic preservation and healthy living.

In the area of **Planning**, we have embraced The Miami Comprehensive Neighborhood Plan (MCNP) which stands as a key initiative within the region's strategic timeline, with the Planning Department serving as the primary gatekeeper and leading the process Plan (MCNP) "Envisioning Miami 2035". In addition, the department was able to managed extensive public participation throughout hearing board meetings, processing a record year of 4,297 applications for public hearing.



In the area of **Resilience and Public Work**, We continued to embrace a commitment to our community's well-being by prioritizing our stormwater resilience strategy, safeguarding our city from flooding and water pollution. For the fiscal 2023-24, the Roadway Infrastructure Division completed 24 projects and is in the process of closing-out another 31 projects worth approximately \$76 million of Dollars. The department reviewed a record high of 15,548 permits, +9% higher than prior year. In the space of Infrastructure modernization, enhancing public spaces and transportation systems and finally, on the notion of using data-driven solutions, the team is making informed decisions for a sustainable future.

In the department of **Resilience and Sustainability**, during Fiscal Year 2023-2024 the city has significant progress hitting some of the critical targets set after the adoption of the Miami Forever Climate Ready Strategy to prioritize resilience and tackle the increasing challenges posed by climate change. In addition, this fiscal year 2023-2024, the city received an A- on the 2023 CDP report and received distinction of one of the two most improved cities for the 2023 American Council of Energy Efficient Economy (ACEEE) report.

In the field of **Zoning**, the team continued to enhance its efficiency and effectiveness by contributing to the development of the eStart web application system, which streamlines the processing of Certificates of Use applications and facilitates integration with other system platforms. During Fiscal Year 2023-2024, the department reviewed 6,395 Certificates of Use (CU) applications, approving approximately 25% of them and issuing 1,645 certificates. This figure represents an 8.4% increase compared to the previous year.

In addition, the Zoning department completed 330 Zoning Verification Letter which is 2.5% higher than previous year. The

Zoning Verification Letter is a key component to investors as well as to financial institutions to obtain financial arrangement pursuant to property development.

Lastly but equally relevant, during this fiscal year 2023-2024, the city approved record high of 204 permits of Alcohol Beverage applications and collected revenues of associated fees of \$74,400.00. The Office of Zoning processes Alcohol Beverage license applications for establishments and temporary events.

On behalf of the entire Infrastructure Group, I would like to take this opportunity to extend our heartfelt gratitude to the City Manager and the Deputy City Manager, Arthur Noriega and Natasha Colebrook, respectively as well as to all elected officials, for the unwavering support, which has been instrumental in our success as one team.

I also want to recognize the dedication of all members of the Infrastructure Group, whose commitment to prioritizing customer service continues to strengthen our efforts to build and improve the city of Miami. Together, we are making significant strides in shaping a vibrant future for our community.

Thank you,

Asael Ace Marrero, RA, RID, AIA, ICC
Assistant City Manager /
Chief Infrastructure Officer

A full-page background image of a city skyline at dusk. The sky is a mix of orange, pink, and purple. Several skyscrapers are lit up, with their lights reflecting on the water in the foreground. A bridge with blue-lit supports spans the water. The overall mood is modern and urban.

MISSION

OF THE

INFRASTRUCTURE GROUP



ABOUT THE INFRASTRUCTURE GROUP

The Infrastructure Group is responsible for leading and managing infrastructure development in the City of Miami, shaping the city's future.

Key Responsibilities:

Strategic Leadership: Provide vision and guidance for sustainable urban development.

Department Oversight: Comprehensive management of the following departments:

Building: Ensure compliance with construction regulations and codes of standards.

Capital Improvements: Oversee funding and execution of modernization projects.

Planning: Facilitate effective urban planning while adhering to zoning regulations.

Public Works: Maintain and enhance public infrastructure for safety and efficiency.

Resilience and Sustainability: Highlights accomplishments using data-driven, human-centered approaches to enhance resilience, sustainability, and equity while addressing the City's vulnerabilities and impacts related to climate change.

Zoning: Regulate land use to promote sustainable development.

Future-Focused Initiatives:

Actively engage in long-term planning to shape a resilient urban landscape.

Code of Standards Compliance: Ensure all projects adhere to established standards and regulations.

Safety and Modernization: Prioritize safety in all infrastructure projects while integrating modern technologies.

Resource Management: Optimize the use of resources to enhance efficiency and sustainability.

This summary emphasizes the Infrastructure Group's critical role in guiding Miami's growth while ensuring compliance and safety.



INFRASTRUCTURE LEADERSHIP TEAM



**Assistant City
Manager /
Chief Infrastructure
Officer**



**Director of
Building**



**Director of
Capital
Improvements**



**Director of
Planning**



**Director of
Resilience & Public
Works**



**Director of
Resilience &
Sustainability**



**Director of
Zoning**

THE UNTOLD HISTORY OF THE CITY OF MIAMI



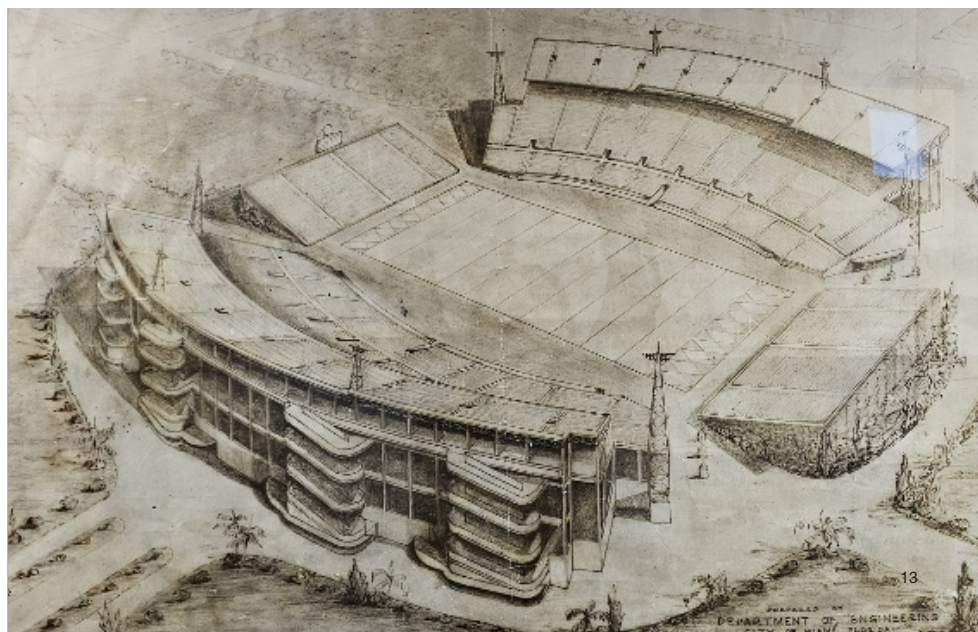
DID YOU KNOW ?



Downtown Miami 1922; Courtesy of the State Archives of Florida

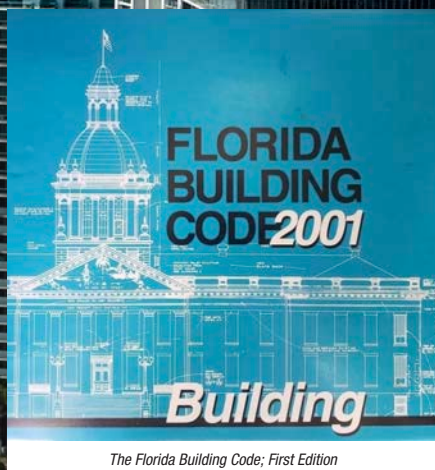


- 1896 The City of Miami was incorporated.
- 1904 The City of Miami passed an ordinance creating the Office of the Building Inspector.
- 1912 Is the earliest record of the Building Inspector's Office.
- In 1921, with the change to a Commission - City Manager form of government, the Department of Public Services was established with a Director in Charge. The department's principal duties were "streets, surveys, building inspections, sewerage, bridges, and harbors".
- 1926 The cost of a building permit is \$1 per 1,000 sq. ft.
- **In 1934 City of Miami adopted the first zoning code, Ordinance 1156.**
- 1936 City of Miami adopted its first Building Code.
- **In 1946, a reorganization created the Department of Engineering, which would oversee the same principal duties of the Department of Public Services dating back to 1921.**
- Between 1946 and the 1950's, The Department of Engineering, designed some major landmarks and institutions in the City of Miami, such as:
 - Football Stadium (formerly Miami Orange Bowl)
 - Jackson Memorial Hospital
 - Municipal Justice Building
 - Seaport at Dodge Island
- 1957 - Metropolitan-Dade County was established.
- 1957 - The South Florida Building Code is adopted.
- **1962 – Ordinance 6972 creates the Planning Department.**
- 1974 The state of Florida established "State Minimum Building Codes."
- 1977 – Resolution 77-430 adopts the Miami Comprehensive Neighborhood Plan.
- 1982 – Ordinance 9426 creates the Heritage Conservation Board and a Heritage Conservation Officer.
- 1989 – Ordinance 10544 adopted the Miami Comprehensive Neighborhood Plan 1989-2000.
- 1991 – Ordinance 10875 creates the Historic and Environmental Preservation Board to replace the Heritage Conservation Board and creates the Preservation Officer to replace the Heritage Conservation Officer.
- 1996 Governor Chiles created the Florida Building Code Study Commission after Hurricane Andrew.



DID YOU KNOW ?

- **2000 - Capital Improvements (CI) was founded as a task force under the City Manager's office, with the purpose of designing and building large-scale projects, funded by the Homeland Defense Bond and Street Bonds.**
- 2002 – Ordinance 12210 adds a section for Neighborhood Conservation Districts to the 1100 Zoning Code.
- 2002 A revisited Florida Building Code became effective on March 1st, 2002.
- 2009 – Ordinance 13114 adopts Miami 21 to replace the 11000 Zoning Code.
- 2015 – Ordinance 13561 creates and adopts NRD-1, the City's first Neighborhood Revitalization District
- **2016, the City was granted funding from the Rockefeller Foundation to create The Office of Resilience and Sustainability.**
- 2017 - City of Miami voters approved a Miami Forever Bond referendum in the amount of \$400 Million for citywide capital projects.
- 2018 – Ordinance 13817 adopts the City of Miami's first inclusionary zoning ordinance.
- 2019 - The Resilient305 strategy was developed by Greater Miami & the Beaches (GM&B), a unique partnership of Miami-Dade County, the City of Miami, and the City of Miami Beach to address regional resilience challenges.
- 2020 - The Miami Forever Climate Ready strategy was launched as the City of Miami's climate adaptation plan and was developed to address the increasing risks of flood, heat, and storm impacts.
- June 2020 – Marketing and branding elements for OCI were developed, highlighting the following eight (8) capital project categories: Roadways, Parks and Recreation, Sea Level Rise and Flood Prevention, Public Facilities, Municipal Facilities, Environmental, Public Safety, and Affordable Housing.
- 2021. Miami Forever Carbon Neutral was adopted by City Commission. Roadmap to achieve carbon neutrality by 2050 in the community, strengthen the economy, and enhance climate justice.
- March 2021 – The City of Miami Comprehensive Stormwater Mater Plan was released under the management and leadership of OCI.
- 2023 The latest and 8th Edition of The Florida Building Code went into effect on December 31st, 2023.
- 2024 - Miami Forever Carbon Neutral: Extreme Heat will be released by the end of 2024. Pursuant to articulate short-term and long-term actions that can be taken to address extreme heat in the City.



Today The City of Miami issues permits with an estimated construction value of approximately \$4 billion annually.

ONCE UPON A TIME

- 1836: Primitive Dade-County:
- In 1836, Dade County was formed, acquiring its name from Major Francis L. Dade, who died in battle during the start of the Second Seminole War.

The territory was much larger than we know it today. It encompassed today's Palm Beach County, Broward County, Miami-Dade County, and some of the Florida Keys (up to Bahia Honda).

- 1896: Tuttle's Dream is Realized: Miami remained as an undeveloped wilderness for centuries. It wasn't until the early.
- 1890s that an affluent widow named Julia Tuttle realized our city's potential. With dreams of a burgeoning metropolis, Tuttle knew extending Henry Flagler's railroad was imperative.

As the story goes, a clipping of Tuttle's orange blossoms after the Great Freeze of 1894-1895 ultimately persuaded Flagler of Miami's financial viability.

- Tuttle's crops had survived the devastating temperatures while Northern crops had perished, leaving many farmers destitute. Miami's "freeze-proof" climate equated to an agricultural gold mine, and soon after, the first train to Miami rolled into the station in April 1896.

- 1896: The City of Miami was Born: With improved transportation and the development of the luxurious Royal Palm Hotel, residents desired municipal legitimacy. So, on July 28, 1896, approximately 344 registered voters filed into The Lobby Pool and Billiard Parlor and, by motion, agreed to incorporate the city. While many thought the city should be named after Flagler, the city was ultimately called Miami after the native Mayaimi tribe that once inhabited the area surrounding present-day Lake Okeechobee.

- 1904: Early Building Ordinances: Soon after the city was incorporated, thousands of newcomers flocked to the new and tropical city. As buildings sprouted up at record speed, haphazard construction drove the need for building laws.

On February 10, 1904, The Miami Evening Record (a precursor to the Miami Herald) reported that a new ordinance was reviewed at the latest City Council meeting.

The proposed regulation aimed to create the Office of the Building Inspector and establish standard building practices¹. After meaningful debate among council members and members of the Contractor's Association as to the embodiment of the enactment, the ordinance passed unanimously.

1 "Adjourned Meeting Transacts Important Business," Miami Evening Record, February 10th, 1904.

The City of Miami became the Magic City because it sprang up magically, overnight. Magic was everywhere... in its beaches, tropical flora, and importantly, in its warm climate. This allowed for a year-round construction cycle, which further fueled Miami's early real estate boom. The hasty construction of the day, as well as our ever-present risk of severe windstorms made it clear that a proper building code was essential.

In the early years, construction standards were inconsistent amongst the municipalities of the region, but the City of Miami pioneered the development of building codes. Many surrounding cities benefited from this leadership by adopting the early Miami code to some degree.

The Department of Engineering, through various reorganizations over the years, is currently known as the Department of Resilience and Public Works.

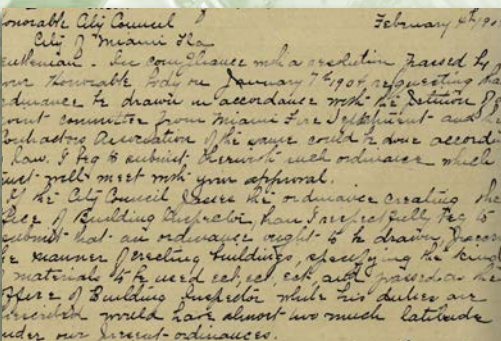
Today, The Infrastructure Group plays a critical role in leading and managing infrastructure development in the City of Miami, shaping the city's future. Miami maintains that same spirit and continues to be a leader in building code enforcement.



Julia Tuttle; Courtesy of the State Archives of Florida



The Royal Palm Hotel; Courtesy of the State Archives of Florida



City Council Notes - February 1904

BUILDING DEPARTMENT



MISSION OF THE BUILDING DEPARTMENT

MISSION STATEMENT

To promote life safety, protect the public, and improve the quality of life by providing prompt and efficient review of plans, issuance of permits, and timely inspections; and by interpreting and enforcing the Florida Building Code (FBC) and all other applicable regulations governing construction and land uses while ensuring expeditious access to public records and providing excellent customer service through enhanced technology.

ABOUT THE BUILDING DEPARTMENT

The Building Department protects the health, safety, and welfare of the public, and enhances the general quality of life by interpreting and enforcing the FBC and other applicable regulations governing construction and land use.

Contributing to the Administration's Priority of Quality of Life, the Building Department provides records, issues permits and performs building inspections. The Department also ensures that commercial and residential buildings and structures comply with the FBC and all other applicable laws and ordinances.

Stakeholders includes property owners, homeowners' associations, private and charter schools, City departments, and the building construction industry at large

"I am honored to be back at the City of Miami as Building Director and, taking an active role in the Department's focused pursuit to improve the quality of service we provide our customers, who consist of residents, business entities and the construction industry at large. This is an ongoing endeavor that aspires to streamline the processes that our customers navigate on a daily basis. By continually investing in our human and information technology resources, we will continue to see measurable benefits to our processes, our people and our customer."

Eduardo Santamaria
Director of Building

MISSION OF THE BUILDING DEPARTMENT



ABOUT THE BUILDING DEPARTMENT

The Building department enforces codes and regulations set by the State of Florida and Miami-Dade County to ensure the safe construction, alteration, and maintenance of buildings in Miami, protecting residents and property.

Its responsibilities include:

- Reviewing applications and issuing building permits for new and altered structures.
- Conducting inspections during construction to ensure compliance with codes and regulations.
- Investigating complaints and enforcing corrections for building code violations.
- Enforcing local regulations regarding unsafe structures.
- Reviewing proposed construction products to maintain industry standards through a quality assurance program.
- Governing the local contractor trade licensing process and promoting compliance with contractor regulations, including investigating unlicensed activities.

Overall, the department plays a crucial role in safeguarding building safety and integrity within the City of Miami.

BUILDING LEADERSHIP TEAM



EDUARDO SANTAMARIA
Director of Building



JOSE REGALADO
Assistant Director,
Administration



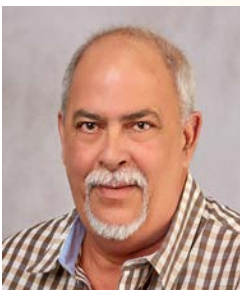
JULIA CERRATO
Assistant Director,
Enterprise Permitting



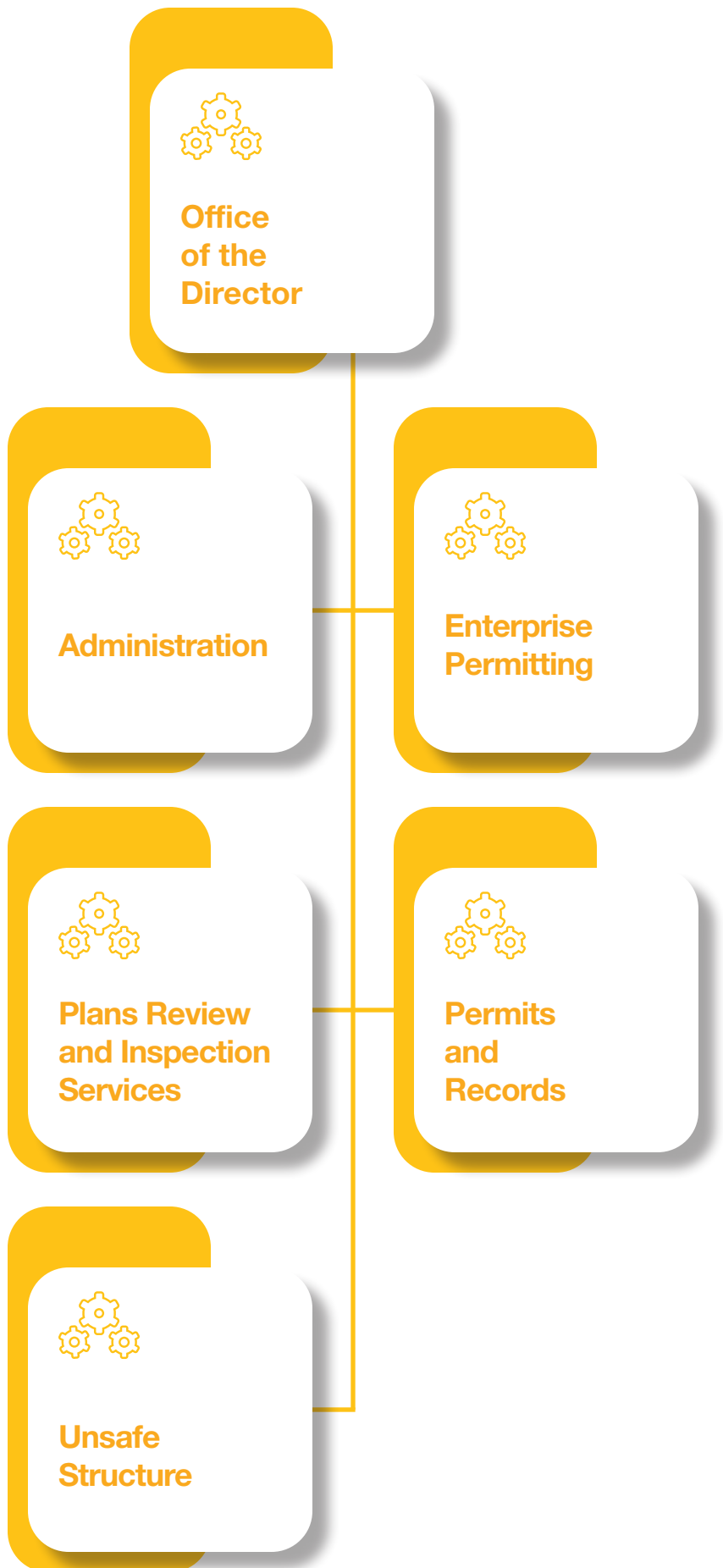
WILLIAM HUNT
Assistant Director,
Inspection Services



LUIS TORRES III
Building Official



RENE DIAZ
Chief Unsafe Structure



KEY PERFORMANCE INDICATORS

The Building department monitors key performance indicators to determine the availability and need for resources that support Miami's construction industry. These measures include new permit applications, permits issued, value of construction, revenues and inspections performed.

The following slides provide a visual representation of permitting trends over the past 5 years.

New building permit applications



During the fiscal year 2024 (October 1, 2023 – September 30, 2024), The city permit counter help desk and customer services managed 25,971 new building permit applications which continued to exhibit strong collaboration with stakeholders, handling double digit growth of about 11% increase in Residential (single/duplex) applications and a strong 9% increase in Commercial applications.

Permits issued



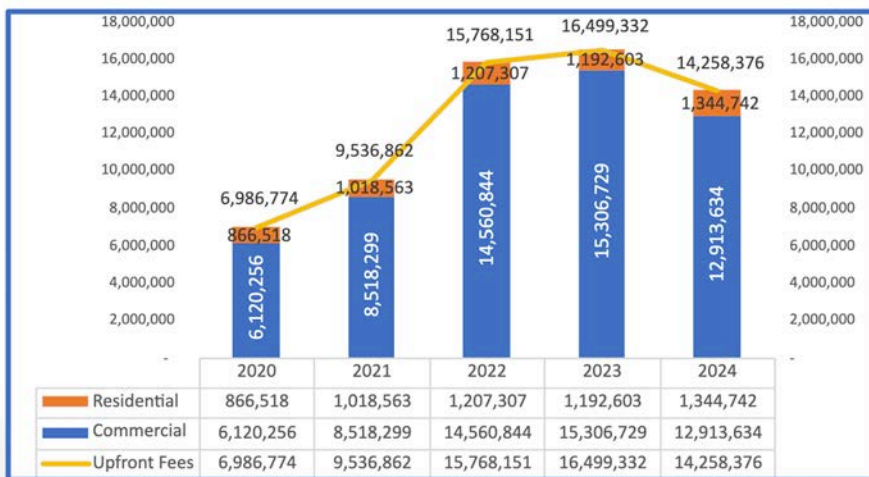
For fiscal year 2024 (October 1, 2023 – September 30, 2024) The city issued about 29,000 (Twenty-nine) thousand permits. Representing a solid 5% increase in Residential (single/duplex) permits issued and a strong 7% increase in Commercial permits issued.

Construction Value of Permits



The city of Miami continued to have a very healthy trend with record value of permit construction of \$4.2 Billions of dollars for fiscal year 2024 (October 1, 2023 – September 30, 2024). Very strong double digits growth of about 12% increase in value of permits issued year on year.

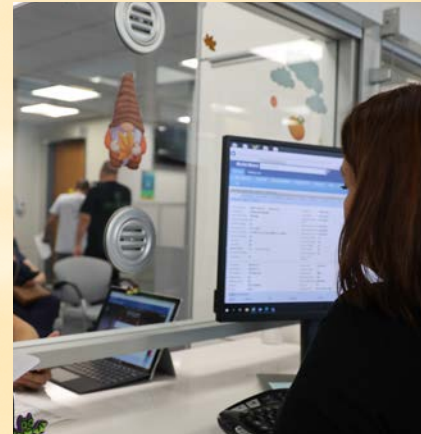
Up Front Fees



Revenues collected for the past 5 years, including 2024 Actual. The fees provided are based on upfront fees not total permit fees collected. Upfront fees are calculated upon creation of a building permit application and are based on a \$2.80 per \$1,000.00 of value of construction provided. A portion of these fees are later credited to the total permit fees paid, which may occur in a different fiscal year due to the scope of the development.

For fiscal year 2024 (October 1, 2023 – September 30, 2024) even though, there is an overall decrease year on year, The city was able to collect \$14,258,376, more than (fourteen million) of dollar of Up-front fees with a robust 12.8% increase in upfront revenue for Residential (single/duplex) applications offset by a -15.6% decrease in upfront revenue for Commercial.

KEY PERFORMANCE INDICATORS



KEY PERFORMANCE INDICATORS

Completed Inspections



The Building department's goal is to perform inspections within 24 hours of receiving the request.

For fiscal year 2024 (October 1, 2023 – September 30, 2024) The number of inspections performed an all-times high record, surpassing 205,000 (two hundred and five) thousand for an overall of 3.3% increase in inspections completed.





UNSAFE STRUCTURES



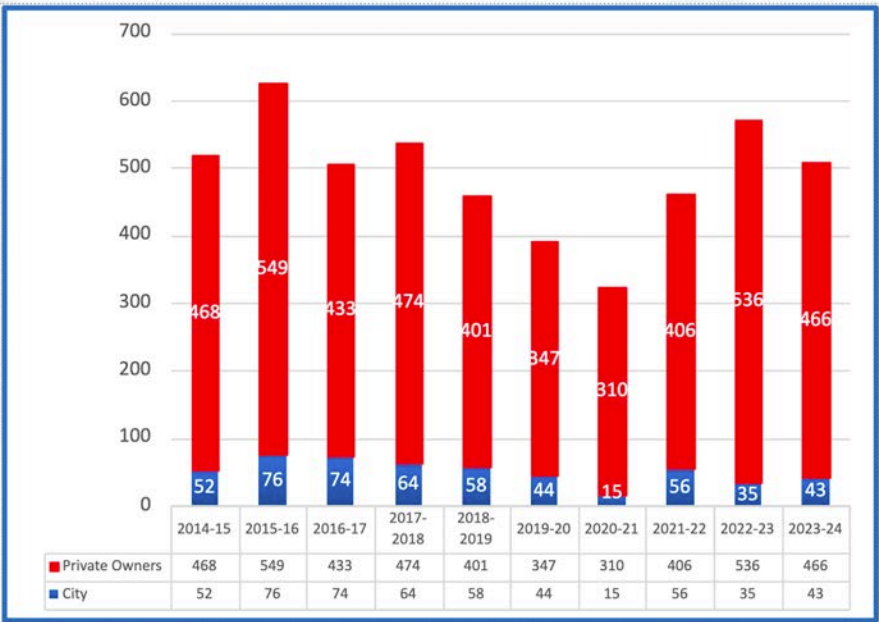


UNSAFE STRUCTURES

The Building Department enforces building code compliance reviews for unsafe structures including process of certification and/or recertifications of compliance, violations, active participation on public hearings, provides customer service through a center of excellence with emails and phone calls.

509 Demolitions of unsafe structures were completed during the fiscal year 2023/24, of which 466 were completed by private owner and 43 were completed by the unsafe structures division.

The department played a critical role during periodical public hearings during the year helping the applicants on several processes to managed extensions of inspections, compliance and adherence to the code, violations of the code.



Completed Demolitions trend from 2014 to 2024: Source Ibuild

UNSAFE STRUCTURE COMPLETED RECERTIFICATION



UNSAFE STRUCTURES RE-CERTIFICATIONS

The City re-certifies structures 30 years or older to ensure they are safe for use and occupancy, as per the Miami-Dade County Code.

The division of Unsafe Structures within the Building Department continues to revisit the process on an on-going basis to reassure clear guideline and requirements for building re-certifications are in place and inspections of properties follow those established best practices to adhere to code of compliance.

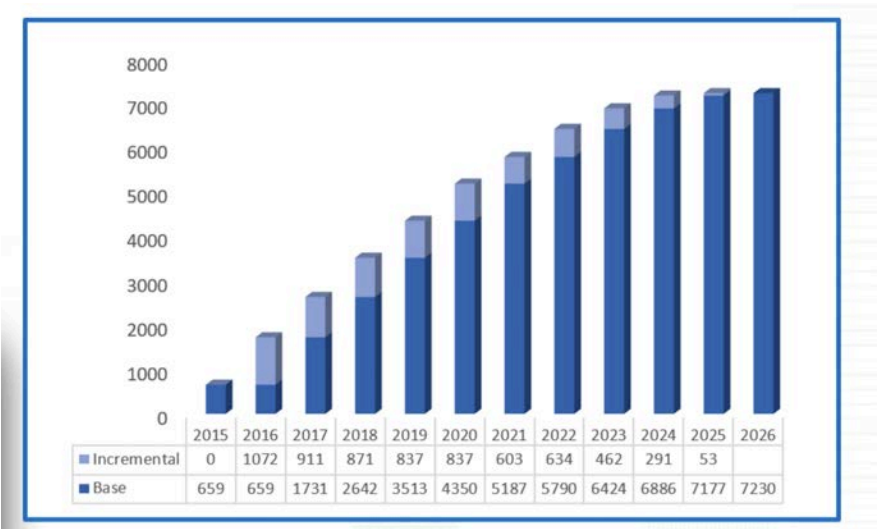
To facilitate completion of documentation and to assist in the process for inspections, the division has created a user-friendly list of documents available online at www.miami.gov/Permits-Construction/Unsafe-Structures/Get-a-Building-Recertification

GUIDELINES INCLUDE HIGHLIGHTS AND NEEDS FOR:

- Visual Examination
- Testing Procedures
- Manual Procedures
- Structure Overview:
 - Foundations
 - Floor and Roof Systems
 - Masonry Walls
 - Windows and Doors
 - Structural Glazing
 - Wood Framing
 - Building Facade
- Scope of Electrical Inspections
 - Electric Service
 - Branch Circuits
 - Conduit raceways
- Unpermitted activities
- Violations investigation
- Parking Lot Illumination Standards
- Thermographic Inspections and Clarifications

UNSAFE STRUCTURES RE-CERTIFICATIONS

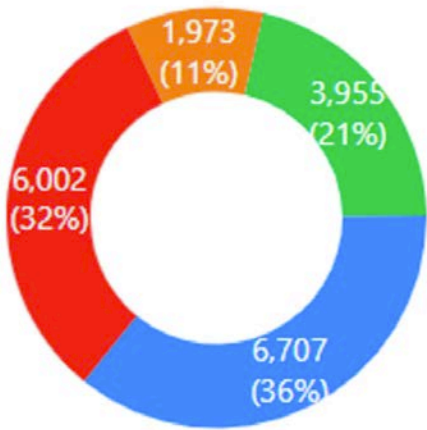
As of Fiscal Year 2024, the Division has completed nearly 7,000 thousand certifications.



The Division continues to monitor on a daily basis the number of building certification in progress, the number of building exempted and pending work including all areas of scope of work to obtained a recertification of compliance.

Building Certification Status Percent

Status ● Pending ● In Progress ● Exempted ● Completed



Source: IBuild data by September 30, 2024

UNSAFE STRUCTURE COMPLETED RECERTIFICATION



A large yellow tower crane is the central focus, its long jib extending across the upper half of the frame. It is lifting a heavy, conical concrete bucket from a lower level. The background shows a clear blue sky and the skeletal structure of a multi-story building under construction, with concrete columns and beams visible. Another smaller crane is visible in the distance. The overall scene is one of active construction work.

CRANE REPORT



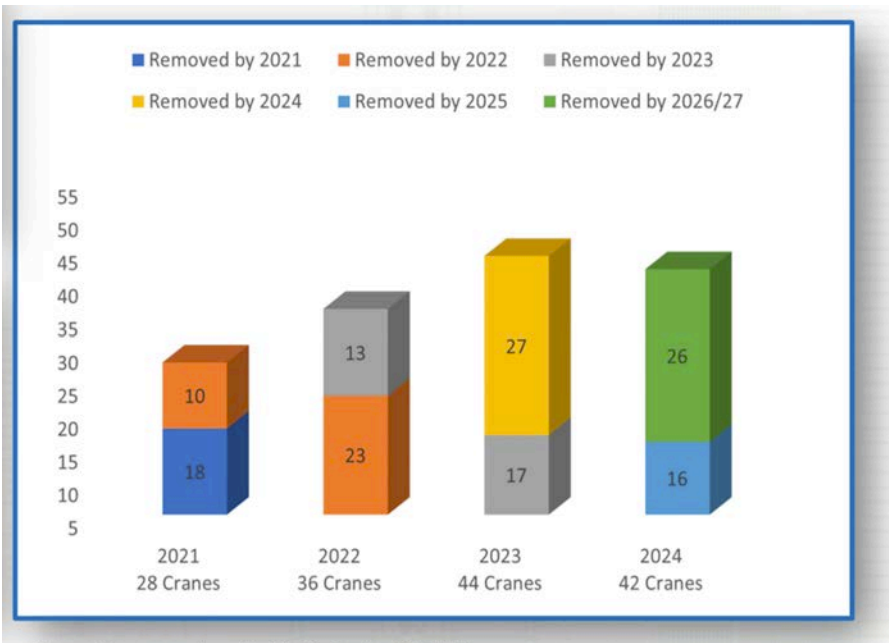
CRANE REPORT INSPECTIONS

The Building Department reassures inspections on the ground for all cranes working in the city of Miami follows the approval criteria granted on Permits.

Rigorous process of inspections include all required information in case dismantling needs arise due to unforeseen events such as hurricanes.

Details of inspections detail the following:

- Name of owners or operators
- Address or location approved to operate
- Dates of mounting the cranes
- Dates of removal of the cranes
- Define heights of elevation of the cranes
- Velocity of operations



Source: Crane report, updated by September 30, 2024

CRANE REPORT

CRANE REPORT INSPECTIONS

Address & Contact Information	Permit Number	Crane Model	Max Height	Removal Date
800 NW 5 th . Ave. / 590 NW 8 th . St.	BD21023937-001-B001 BD21023930-001-B001	Morrow LIEBHERR 550 HC Ultimate Velocity 175 mph	173'	08/30/24
2626 Biscayne Blvd. 954-668-5167	BD22007816-001-B001	PEINER SK415 Ultimate Velocity 175 mph	601'	12/30/25
555 N. Miami Ave.	BD19018756-P22- PH001	# 1 LIEBHERR 357 HC-L 12 #2 LIEBHERR 357 HC-L 12 Ultimate Velocity 175 mph	749' 863'	8/30/25 11/30/25
2200 Brickell Ave.	BD22029916-001-B001	# 1 LIEBHERR 316 EC-H 12 # 2 LIEBHERR 316 EC-H 12 Ultimate velocity 175 mph	130' 103'	02/2025 02/2025
90 NW 11 th . St. 305-7091062	BD23013083-001-B001	# 1 LIEBHERR 316 EC-H12 # 2 LIEBHERR 470 EC-B 20 Ultimate Velocity 175 mph	166' 191'	2027 2027
725 NE 24 th . St. 786-975-5611	BD23012364-001-B001	# 1 LIEBHERR 420 EC-H16 # 2 LIEBHERR 420 EC-H16 Ultimate Velocity 175 mph	712' 674'	2025 2025
77 SE 5 th . St. 954-920-8550	BD20024880-001-B001	#1 LIEBHERR 316 EC-H 12 #2 LIEBHERR 316 EC-H 12 Ultimate Velocity 175 mph	541' 505'	12/30/24 10/30/24
175 SE 25 th . Rd. 561-612-1282	BD19015601-001-B001	#1-LIEBHERR 420 EC-H 16 Ultimate Velocity 175 mph	675'	12/30/24
225 N. Miami Ave. 305-588-0915	BD21026999-001-B001	LIEBHERR 316 EC-H Ultimate Velocity 175 mph	429'	08/30/24
1451 S. Miami Ave. 786-252	BD20011035-001-B001	TEREX SK 415 Ultimate Velocity 169 mph	418'	12/30/24
99 SE 5 th . St 954-920-8550	BD22006164-P11- PH001	# 3 LIEBHERR 316 EC-H 12 # 5 LIEBHERR 340 EC-B 12 # 4 LIEBHERR 340 EC-B 12 Ultimate Velocity 175 mph Crane # 4 to be installed in October 2024.	196' 164' 183'	2025 2027 2027
1611 SW 2nd. Ave. 754-213-1663	BD23016208-001-B001	TEREX SK415-20 Ultimate Velocity 175 mph	114'	02/2025
436 NE 35 th Terr. 646-714-7089	BD18016505-001-B001	LIEBHERR 316 EC-H 12 Ultimate Velocity 175 mph	166'	03/30/25
2750 NW- S. River Dr. 786-340-9992	BD22011628-001-B001	LIEBHERR 316 EC-H 12 Ultimate Velocity 175 mph	130'	01/30/25
1420 S. Miami Ave. 262-389-9754	BD22010804-001-B001	# 1 LIEBHERR 470 EC-B20 # 2 LIEBHERR 340 EC B12 Ultimate Velocity 175 mph	989 ' 962'	12/30/25 10/30/25

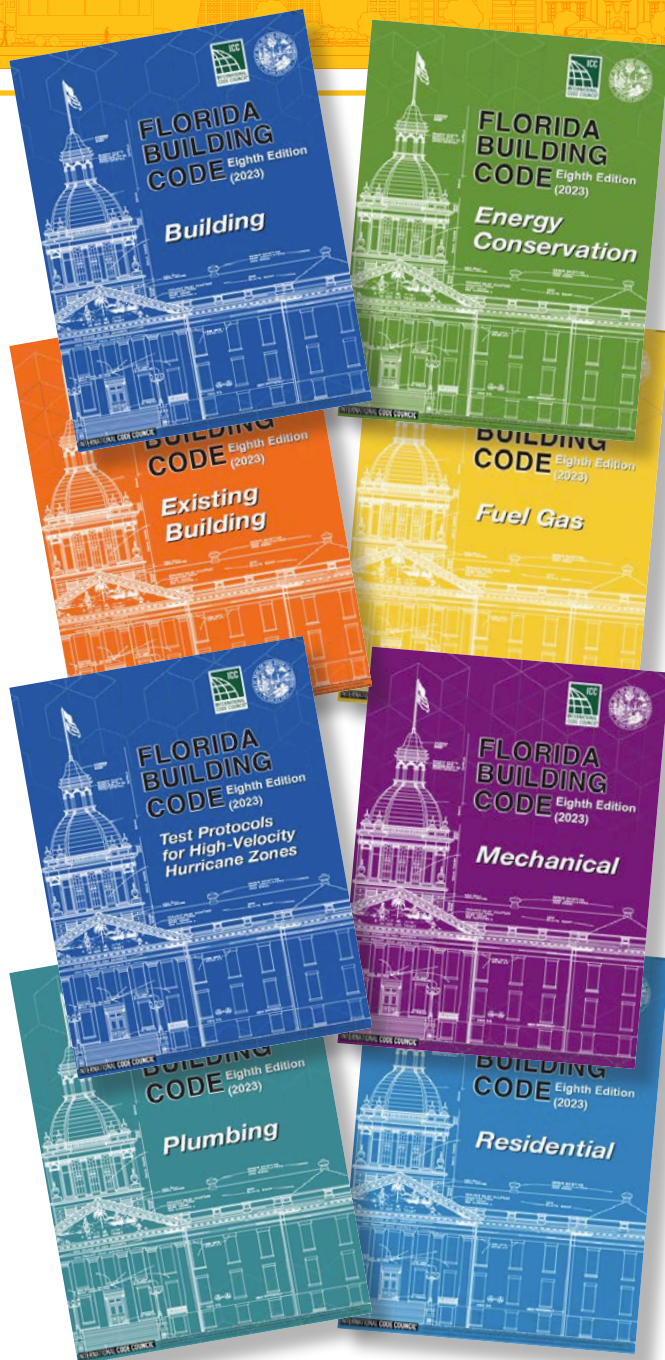
CRANE REPORT INSPECTIONS

CRANE REPORT

249 NE 3 rd . St. 305-458-7790	BD21025335-001-B001	# 1 POTAIN MR605 # 2 POTAIN MR418 Ultimate Velocity 175 mph	412' 444'	8/30/25 10/30/25
11 NE 6 th . St.	BD22008410-001-B001	LIEBHERR 316 EC-H 12 Ultimate Velocity 175 mph	315'	12/30/24
4 Grove Isle DR. 305-495-7401	BD18013439-001-B001	# 1 TEREK SK405 Ultimate Velocity 175 mph	199'	09/30/24
55 NE 2 nd . St.	BD20014447-001-B001	#1 LIEBHERR 420 EC-H 16 # 2 LIEBHERR 420 EC-H16 Ultimate Velocity 175 mph	484' 530'	06/30/25 12/30/25
255 SW 9 th . St.	BD21011106-001-B001	LIEBHERR 200 EC-H 16 Ultimate Velocity 175 mph	319'	12/30/24
1400 Biscayne Blvd. 305-989-6113	BD23007561-001-B001	# 1 LIEBHERR 316 EC-H 12 # 2 LIEBHERR 316 EC-H 12 Ultimate Velocity 175 mph	715' 675'	05/30/25 08/30/25
930 NE 1 st . Ave. 786-651-8198	BD20018552-P11- PH001	#1 TEREK SK405 #2 TEREK SK 415 Ultimate Velocity 175 mph	161' 164'	12/30/24 12/30/24
90 NE 32 nd . St. 786-862-5157	BD22029468-001-B001	TEREZ PEINER SK415-20 Ultimate Velocity 175 mph	195'	8/30/24
121 NE 5 th . St. 786-709-1278	BD2103000-001-B001	LIEBHERR 316 EC-H 12 Ultimate Velocity 175 mph	296'	9/30/24
1400 NW 12 th . Ave. 786-317-6793	BD23011889-001-B001	POTAIN MR 405 Ultimate Velocity 175 mph	164'	11/01/24
20 NE 11 th . St.	BD21028574-P11- PH001	#1 LIEBHERR 470 EC-B 20 #2 LIEBHERR 470 EC-B20 Ultimate Velocity 175 mph	743' 743'	12/30/24 01/30/25
1425 NW 10 th . Ave. 305-481-4365	BD22001123-P21- PH001	#2 LIEBHERR 420 EC-H 16 Ultimate Velocity 175 mph	237'	08/30/24
99 SW 7 th . St. 954-850-6332	BD22025768-P21- PH001	N. Crane Terex SK415-20 S. Crane Terex SK415-20 Ultimate Velocity 175 mph	600' 561'	03/30/26 01/30/25



FLORIDA BUILDING CODE



NEW NEWS

FLORIDA BUILDING CODE

During this fiscal year 2024 (October 1, 2023 – September 30, 2024), a new edition of the Florida Building Codes 8th Edition (2023) went into effect on December 31, 2023

FLORIDA BUILDING CODE 8TH EDITION

To facilitate the transition to this new edition, several communications were in place where the previous version was allowed for all permit applications and plans submitted on or after December 31, 2023.

CODE AVAILABILITY

The code can be viewed online at floridabuilding.org.

The Florida Building Code's purpose is to establish minimum requirements for safety, public health, and general welfare. The code considers factors such as structural strength, means of egress, sanitation, light and ventilation, energy conservation, and fire safety.

The City of Miami also considers climate change and sea level rise projections when updating its building codes. The city is also working to improve energy efficiency through retrofits, LEED requirements, and green buildings.

PERMITTING ENTERPRISE

NEW NEWS

PERMITTING ENTERPRISE



During this fiscal year 2024 (October 1, 2023 – September 30, 2024), a new division, Permitting Enterprise, was established to streamline responsibilities across various disciplines with a clear vision to enhanced customer services for both Residential and Commercial customers.

This division includes

ePlan Permitting Coordinators

Technical roles

Implementation of the new Permitting Enterprise Solution

Key initiatives coordinated with internal permitting departments include:

- Expedited Reviews
- Joint Plan Review Meetings
- ProjectDox Laserfiche Integration
- Confidential Addresses
- Phased Permits
- New rules for Recertification (40-50 rules)
- Docusign integration

The division also engaged with the Architectural & Engineering (A&E) group and Department Directors on the new iBuild intake process.

ENHANCED SERVICES FOR *RESIDENTIAL* CUSTOMERS

NEW NEWS

HOMEOWNER PERMITTING ASSISTANCE PROGRAM

The service primarily targets homesteaded properties but also extends assistance to other single-family and duplex projects. Key areas of support include:

- Assistance with permit revisions and revocations
- Guidance on plan cancellations
- Facilitation for adding or changing contractors or subcontractors
- Support with code relief matters

This team is committed to helping homeowners efficiently navigate each step of the permitting process.

Support includes:

- Assistance with initiating permit applications
- Guidance on uploading and submitting plans
- Help with pulling permits and requesting inspections

The goal is to provide comprehensive support to ensure a smooth permitting experience for all customers.



NEW NEWS

HOMEOWNER PERMITTING ASSISTANCE PROGRAM

The service primarily targets homesteaded properties but also extends assistance to other single-family and duplex projects. Key areas of support include:

- Assistance with permit revisions and revocations
- Guidance on plan cancellations
- Facilitation for adding or changing contractors or subcontractors
- Support with code relief matters

This team is committed to helping homeowners efficiently navigate each step of the permitting process.

Support includes:

- Assistance with initiating permit applications
- Guidance on uploading and submitting plans
- Help with pulling permits and requesting inspections

The goal is to provide comprehensive support to ensure a smooth permitting experience for all customers.

NEW NEWS

CONCIERGE PROGRAM

Ordinance 13800 established an expedited review process that allows plans to be reviewed earlier than the due date for a fee.

This program was further expanded by *Ordinance 13969* to include:

- Joint Plan Review process
- Additional review areas, including Planning, Zoning, Resilience, and Public Works

The Fire Department offers its own expedited services and is not part of this program.

The Building Department led the development and implementation of the process, allowing customers to request expedited and joint review services across participating departments. Each department has assigned dedicated personnel to coordinate reviews.

The process includes report generation to track requests by discipline and assess future needs.

Expedited Plan Review

Summary Qualification

- Project size must exceed 20,000 square feet.
- Project must have completed at least one full review cycle.

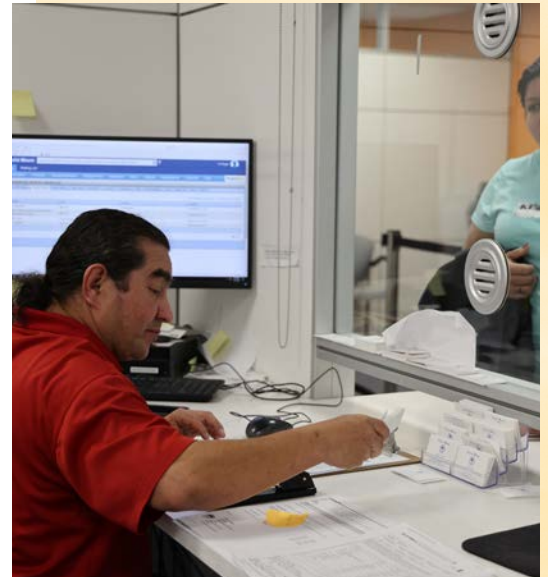
Fees:

- Outside Source Review Fee:
- Actual cost plus 10% (administrative fee for processing).

In-House Review Fee:

- \$350 per discipline, with a maximum of one review per fee, per discipline, limited to four hours per review.

ENHANCED SERVICES FOR COMMERCIAL CUSTOMERS



ENHANCED SERVICES FOR COMMERCIAL CUSTOMERS

NEW NEWS

JOINT PLAN REVIEWS

Our Joint Plan Review process is designed to facilitate efficient collaboration between project stakeholders and city staff, ensuring comprehensive evaluations of significant developments.

To qualify for this review, projects must

- exceed 20,000 square feet
- have completed at least one full cycle of reviews.

Fee Structure

Each meeting with city staff from the Building, Zoning, Planning, or Resilience and Public Works departments incurs a fee of \$276.00 per discipline, with a maximum duration of two (2) hours.

This fee does not apply to Affordable Housing projects that qualify under the City Code.

Our team is committed to supporting each and everyone of our commercial customers through these reviews, fostering a streamlined and effective planning process.

NEW NEWS

AFFORDABLE HOUSING

Projects designated as Affordable Housing are prioritized within our systems, tracked in iBuild, and marked as high priority in ProjectDox.

We are dedicated to assisting our clients with any challenges they encounter throughout the permitting process.

Depending on the complexity of these projects, we may schedule ongoing multi-disciplinary meetings to facilitate timely resolutions to outstanding issues.

To enhance communication between our affordable housing clients and city personnel, we have appointed an Affordable Housing Liaison within the Building Department.

Customers can request services under the Concierge Program, including overnight/ expedited reviews and Joint Plan reviews, through the Building Department's webpage at Building - Miami.

For assistance, clients can reach us via telephone at 305 -416-1100 or email at expeditedplanreview@miamigov.com or jointplanreview@miamigov.com.

DEPARTMENT OF BUILDING, ON-GOING INITIATIVES:

The Building department will continue to aggressively pursue abandoned and unsafe structures throughout the City and demolishing those structures that pose hazards to the neighborhoods of the City.

The department will also continue to meet with the Condo Associations to ensure compliance with their 40 or 50 recertifications.

Continue to amend City Code under its purview, including but not limited to Chapters 2, 10, 17, 20, 36, and 62. Continue to work collaboratively with neighboring municipalities and counties by recommending changes to the Florida Building Code and other codes that impact incorporated and unincorporated areas.

Expand the expedited review process to improve the response times for plans review.

Improve the City of Miami's Community Rating System (CRS) and Building Code Effectiveness Grading Schedule (BCEGS) scores to potentially lower insurance premiums for property owners.



ON-GOING INITIATIVES AND BEST PRACTICES



CAPITAL IMPROVEMENTS



MISSION OF THE OFFICE OF CAPITAL IMPROVEMENTS (OCI)

MISSION STATEMENT

The Office of Capital Improvements (OCI) is dedicated to shaping a vibrant, resilient Miami. Through the management and delivery of the City's capital improvements program, OCI builds essential roadways, parks, facilities, and infrastructure that elevate quality of life, foster resilience, and pave the way to prosperity. Building Miami Forever.

ABOUT THE CAPITAL IMPROVEMENTS DEPARTMENT

OCI's core values embody who we are and guides our passionate work-ethic and deep commitment to serving the City of Miami:

1. Customer-Focused: We put our residents and our client departments at the heart of what we do.
2. Solution-Oriented: We employ our best talent and resources to solve the most pressing infrastructure challenges facing the City of Miami.
3. Engaged: We listen and respond to our residents' concerns and suggestions.
4. Innovative and Forward-thinking: We creatively and collaboratively solve the City's most pressing infrastructure challenges.
5. Integrity and Honesty: We are transparent in our operations and respect the community's confidence placed on our ability to wisely invest public funds to build the City's infrastructure.



CAPITAL IMPROVEMENTS
**LEADERSHIP
TEAM**



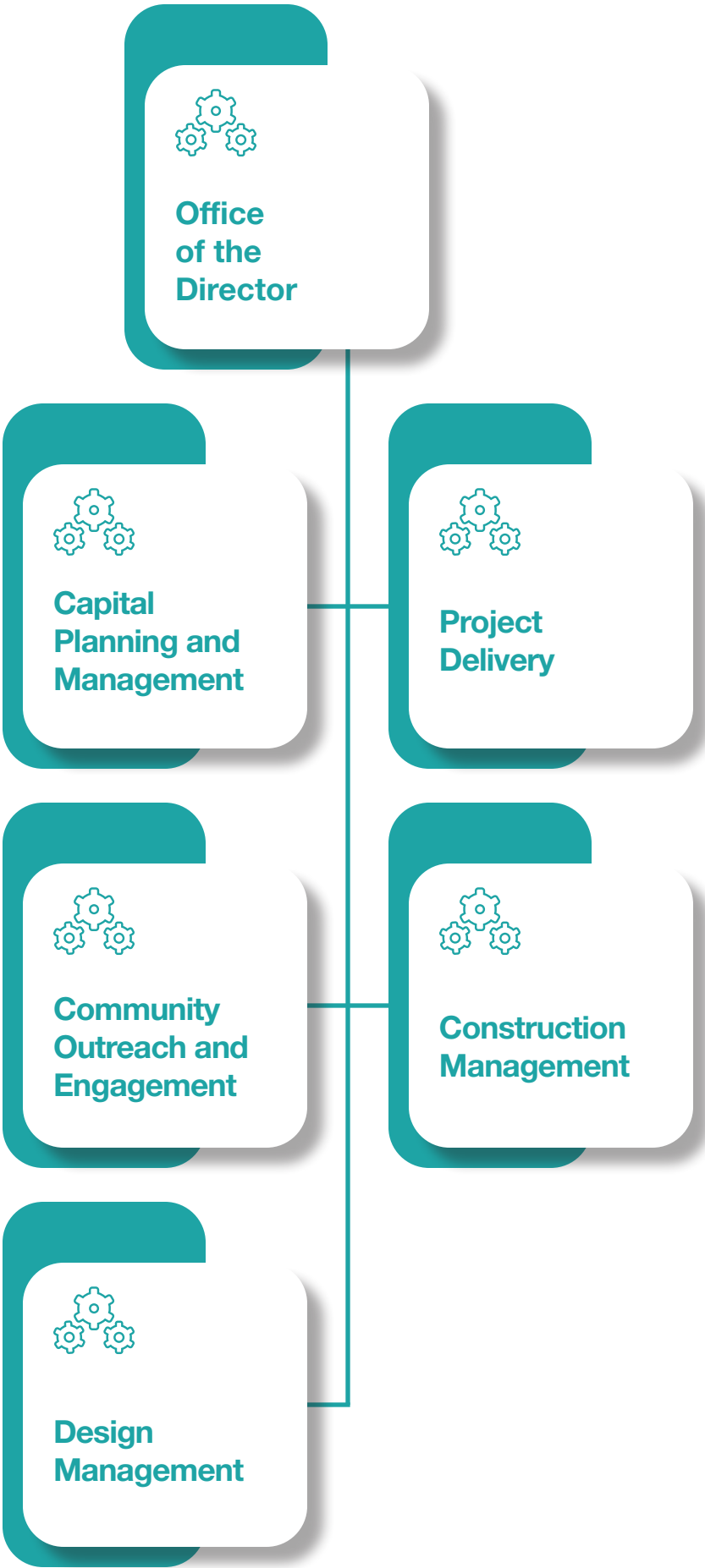
JOSE PEREZ
Director of Capital
Improvements



HECTOR BADIA
Assistant Director



JOSE MONTOYA
Assistant Director



Throughout the year, the Office of Capital Improvements (OCI) has successfully undertaken a range of impactful projects.

There are three different type of projects, where The office of Capital Improvements engage with residents, community and visitors of Miami.

1. MUNICIPAL AND PUBLIC FACILITIES IMPROVEMENTS

OCI designs and builds capital projects for various City of Miami departments, providing citywide environmental remediation and monitoring, renovating public facilities such as marinas, arts & cultural centers, boat ramps and kayak launches. OCI builds municipal facilities, and its currently working on the 40-year building re-certification of public spaces, providing public safety improvements to buildings for police, Fire & Rescue and Emergency Management.

2. PARK IMPROVEMENTS

OCI is continuously working with the City of Miami Parks and Recreation Department to design, construct and improve accessible parks in the city. With over 58 active projects, OCI is creating new parks, revitalizing existing ones, enhancing safety and boosting visitor numbers to promote greater appreciation for historic preservation and healthy living.

3. SEA-LEVEL RISE MITIGATION

OCI, along with the City's Office of Resilience and Sustainability, is seeking to mitigate current and future flood risks and vulnerabilities through over 10 strategic infrastructure investments to minimize the impact of natural occurrences to the community.

"It is a profound honor to lead OCI, an organization at the forefront of shaping Miami's future. Our mission is to deliver vital infrastructure projects that transform our city, from revitalizing parks and public safety facilities to addressing the pressing challenges of sea-level rise. By focusing on environmental sustainability, public safety, and community well-being, OCI is dedicated to improving the quality of life for all residents and building a resilient, vibrant Miami for generations to come"

Carlos Perez
Director of Capital Improvements

KEY PERFORMANCE INDICATORS

KEY PERFORMANCE INDICATORS

The following highlights, reflect our commitment to enhancing Miami's public spaces and infrastructure as well as the upmost dedication to building a resilient and accessible Miami.

KEY PROJECT ACCOMPLISHMENTS

Kenneth Myers Park (Seminole Boat Ramp)

- Constructed a 110-foot seawall to improve shoreline stability.
- Upgraded sidewalks, boat ramps, and docking platforms for public use.
- Installed a floating dock and resurfaced the parking lot to enhance accessibility and usability.

Shenandoah Park Playground:

- Enhanced the surroundings of the newly completed aquatics center.
- Improved the area around the multipurpose field to support community activities.

Virginia Key Basin Trail:

- Provided an 8,000 linear feet recreational trail of crushed granite with structural grid reinforcement around our beautiful Biscayne Bay, creating uninterrupted access to the full U-Shape trail. The trail links to the historic Miami Marine Stadium. Project was both started and completed in 2024.

Antonio Maceo Park:

- Construction of new external restroom facility
- Completed the replacement of main sewer line to prevent clogging and flooding.

Fairlawn Park:

- Phase I: Completion of playground and fun dog park area.
- Phase II: Expansion of the project is currently under construction.

KEY PROJECT ACCOMPLISHMENTS

Legion Park Community Building

Completion of two-story building with new roof, A/C.

Creating acoustical ceiling in theater area.

Providing a warming kitchen.

Creating an outdoor seating area and multi-purpose rooms on both levels.

Stormwater Master Plan

- OCI developed the Stormwater Master Plan (adopted by the City Commission in March 2024)
- A visionary blueprint crafted to enhance stormwater infrastructure, combat flooding and improve water quality. It symbolizes Miami's commitment to resilience and foresight. This plan helped the City of Miami achieve an improved Community Rating System (CRS) rating of 6, resulting in a 20% discount on flood insurance premiums for City property owners and renters.

In addition to those completed projects, the department also has initiated other key initiatives that are under construction and relevant enough to mention:

Coral Way Park Expansion

- Construction a larger playground area for the community

Virginia Key Boat Ramp and Trailer.

- This project will add one more boat ramp in the City of Miami and Miami-Dade County.

Armando Badia Senior Center

- Renovation and new building additions at Flagami Park.

West End Park Pool

- Construction of a new swimming pool in the neighborhood
- New pool Building and other enhancements to the park

KEY PERFORMANCE INDICATORS

KEY PERFORMANCE INDICATORS

1,295 Residents
Attended OCI Meetings
and Events

31 Outreach Events
11 Community Meetings
8 Groundbreakings
2 Ribbon Cuttings
10 External (Industry Events/MFB/HOA's)

4,060 Queries
Resident Queries
Received/Handled
(Projects, Traffic Calming, Public Records, Phone
Calls, e-mails, etc.)

146,080 Engaged Residents
Through OCI events, social
media, project processes and OCI
Webpage (6.22% increase)
33% of Miami Population of
449,514

Over 62,250 Website Hits
OCI, SWMP and MFB Webpages
(New GA4 Tracking)

2 Campaigns
Golden Pines
Roadway/Drainage
Downtown Flagler
Street Beautification

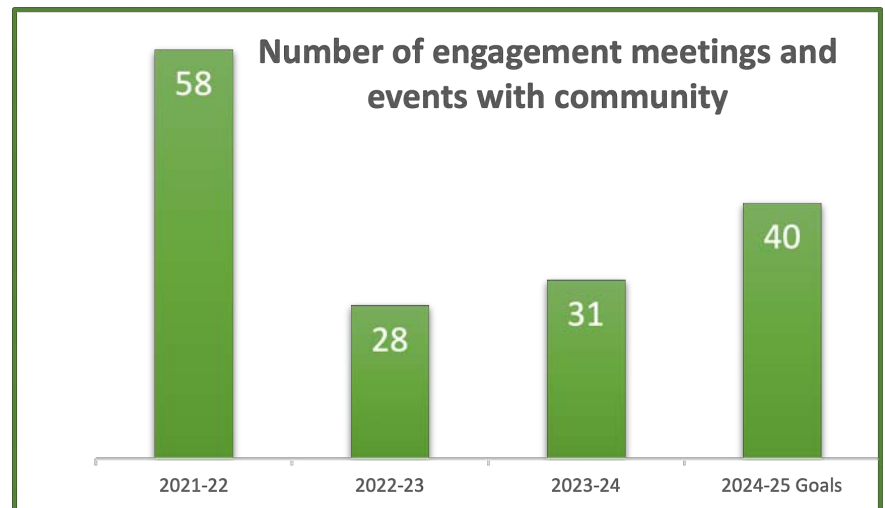
77,776 Media Followers
Nextdoor
Twitter
Facebook
(28% increase)

704 Processes
• Project Construction Notifications
Construction Signs
Balloting, Easements, PRR&
Warrants
OCI Project Webpages

COMMUNITY OUTREACH AND ENGAGEMENT

The Office of Capital Improvements (OCI) engaged with over 146,080 residents through events, social media, project processes and website visits.

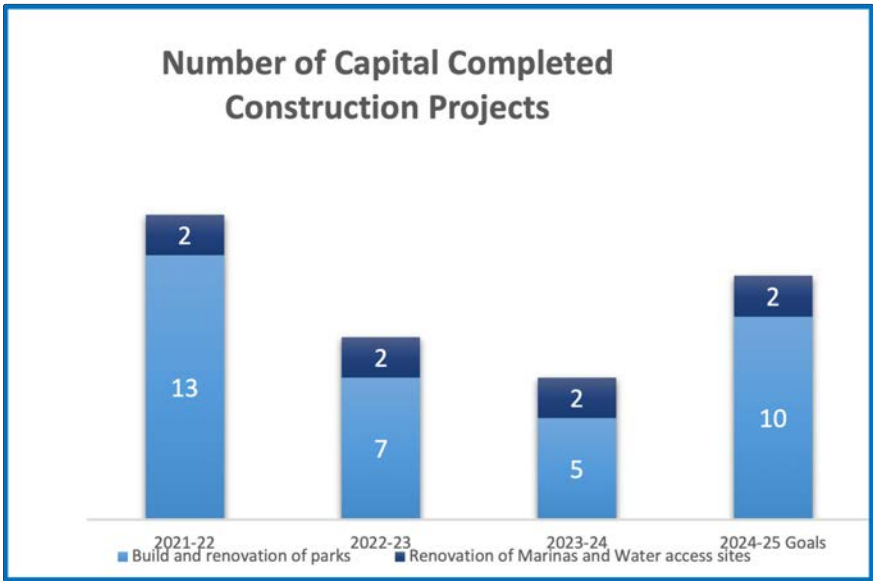
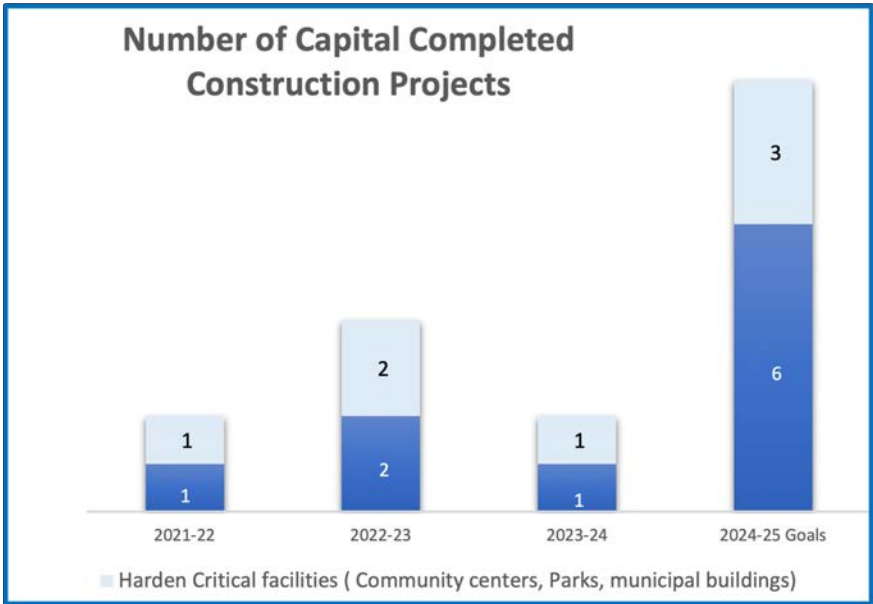
- 33% reach of the approximate population of the City of Miami
- 31 new events in Fiscal Year 23-24
- +6.22% increase Versus Prior Year
- +4,060 queries/responses to residents (projects, traffic calming, public records)
- +704 internal/external processes in support of OCI projects (construction signs, residents notifications (CNLs), traffic calming balloting, sidewalks easements, parks' warrants, projects' webpage development.
- Displayed information in the City's social media channels, resulting in 77,776 followers.
- Webpage analytics recorded over 62,250 webpage hits (including Stormwater Master Plan and Miami Forever Bond webpages)



FISCAL YEAR 2023 - 2024 – PROJECTS KEY METRICS

The Office of Capital Improvements (OCI) started construction of six new projects worth over \$45 million of Dollars, and it completed construction of six projects worth \$25 million of Dollars that are now enjoyed by the residents in the City of Miami, improving the quality of life in the community!

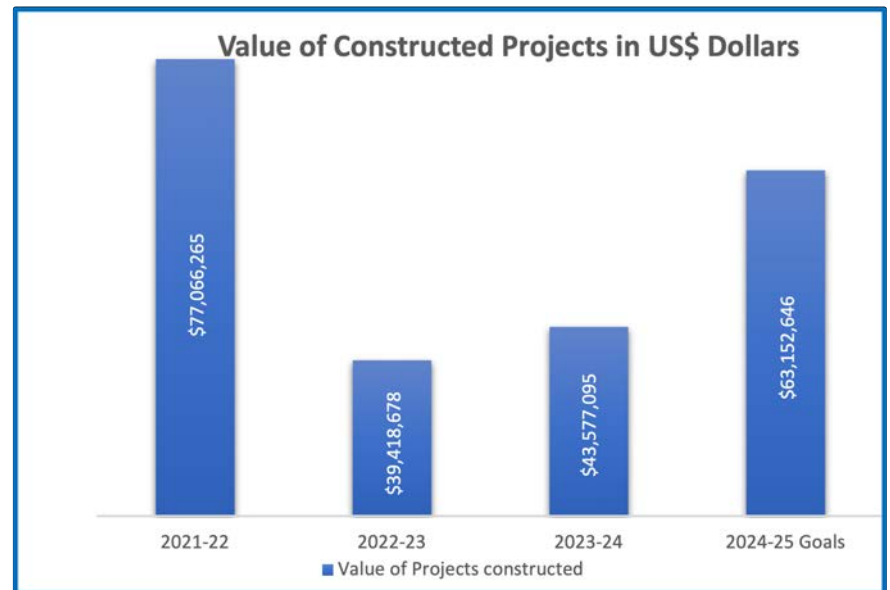
KEY
PERFORMANCE
INDICATORS



KEY PERFORMANCE INDICATORS

FISCAL YEAR 2023 - 2024 – PROJECTS KEY METRICS

- The Office of Capital Improvements (OCI) started construction of six new projects worth over \$45 million of Dollars, and it completed construction of six projects worth \$25 million of Dollars that are now enjoyed by the residents in the City of Miami, improving the quality of life in the community!



DEPARTMENT OF CAPITAL IMPROVEMENTS

ON-GOING INITIATIVES:

The department will continue to work Future Improvements

- Oracle Integration into eBuilder.
- Simplification of workflow processes.
- Elimination of unused processes.
- Differentiation of PMO functions versus eBuilder technical functions.
- Training and User Adoption

The Department's SharePoint is under redesign to include increased awareness and collaboration. It will include the following

SOPs

Code of Ethics

Emergency Mobilization Procedures

Training Videos and Resources

Event Announcements (Ground breakings, etc.)

Document Repository for the Department's shared documents

Finally, the OCI has developed a list of top priorities as following

- 6-Month Goals
 - 40-year certification team fully structured.
 - Reduce construction time on projects to achieve faster completion.
 - Filling current vacancies.
 - Work with other City Departments for a properly funded 5-year capital plan.
- 12-Month Goals
 - Increase number of completed projects during current fiscal year.
 - Optimize funding efforts to initiate more projects during the current fiscal year.
 - Optimize permitting process with support from the Permitting Liaison and Building department.

ON-GOING INITIATIVES AND BEST PRACTICES

ON-GOING INITIATIVES AND BEST PRACTICES

The OCI is driving a key initiative to achieve efficiency and improvement using a holistic project management system in partnership with IT/eBuilder to improve quality of data and process improvements.

System Administration Status (eBuilder / SharePoint)

- eBuilder system is currently under evaluation by eBuilder developers for remediation.
- Currently working with eBuilder developers to optimize four (4) workflows:
 - Project Creation Request
 - Project Status Updates
 - Purchase Order Requests
 - Cost Module

Oracle integrations are currently being reviewed in partnership with IT/eBuilder.

A new structure for projects that are being run as programs will be implemented (to accommodate Master Vs Sub projects for projects that need to be divided among various PMs/CMs).

Efficiencies would come from the removal of inactive users.

Improvement of permitting processes and database inventory.

Redesign of the Project Status Update workflow to capture PMO operations (Project schedule delays, scope issues, budget shortfalls, and other risks).

eBuilder correlation of Cost Module, including using Master Invoices/Cost Estimate Processes (PAF-currently being done manually).





PLANNING

MISSION OF THE OFFICE OF PLANNING

MISSION STATEMENT

To promote a more resilient city through the development and application of innovative and best planning practices that enhance the quality of life for our diverse communities.

CORE VALUES

- Adaptability
- Service
- Engagement
- Partnership

ABOUT THE PLANNING DEPARTMENT

The Planning Department facilitates and regulates land development, preserves natural resources for our distinct neighborhoods, and cultivates an improved quality of life for our city's diverse communities.

There are several divisions within the department: Comprehensive Planning, Hearing Boards, Historic Preservation, Land Development, Special Projects and Urban Design.



“Miami’s future starts with good Planning. I’m pleased to lead the Planning team who forges that future by being adaptable, having a commitment to service, forming partnerships with stakeholders, and engaging with our elected leaders and most importantly our citizens, which are the Department’s core values. By harnessing these values we will accomplish attainable housing options, respond to emerging economic markets and design a sustainable and resilient city”

David Snow
Director of Planning

MISSION OF THE PLANNING DEPARTMENT

The Planning Department, in collaboration with other departments, manages and implements goals, policies and objectives which direct the growth and redevelopment of the City of Miami. The Department drafts development regulations, neighborhood plans and overlay districts to guide future growth, spur development, and preserve the City's residential and historic areas. These are codified via legislative amendment to the City Code, Miami 21 and the Miami Comprehensive Neighborhood Plan. Additionally, the Department is responsible for managing concurrency review, managing the Development Regional Impact (DRI) areas and review of both small and large-scale development projects and proposals, and compliance with urban design, historic preservation, and other state and local regulations.

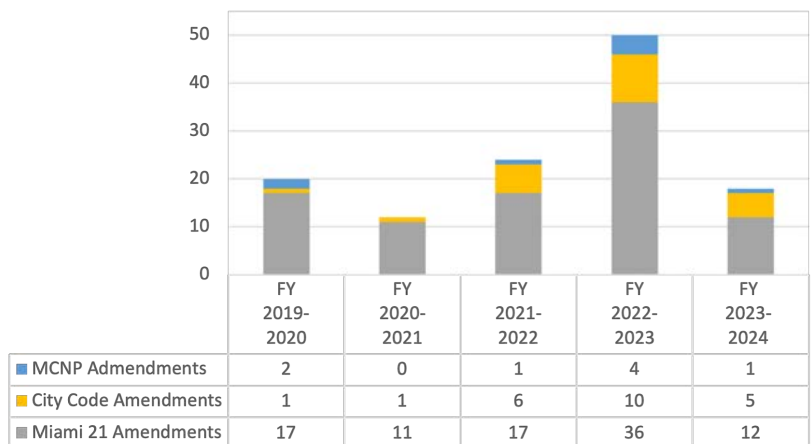
Legislative Highlights:

Opportunity Zone Incentives

Green Roofs

Affordable Housing and Public Benefit Incentives

Legislative Amendments by Fiscal Year



PLANNING
**LEADERSHIP
TEAM**



DAVID SNOW
Director of Planning



SEVANNE STEINER
Assistant Director



OLGA ZAMORA
Chief of Hearing Boards



GRAHAM JONES
Chief of Urban Design



EFREN NUÑEZ
Senior Planning Project Manager



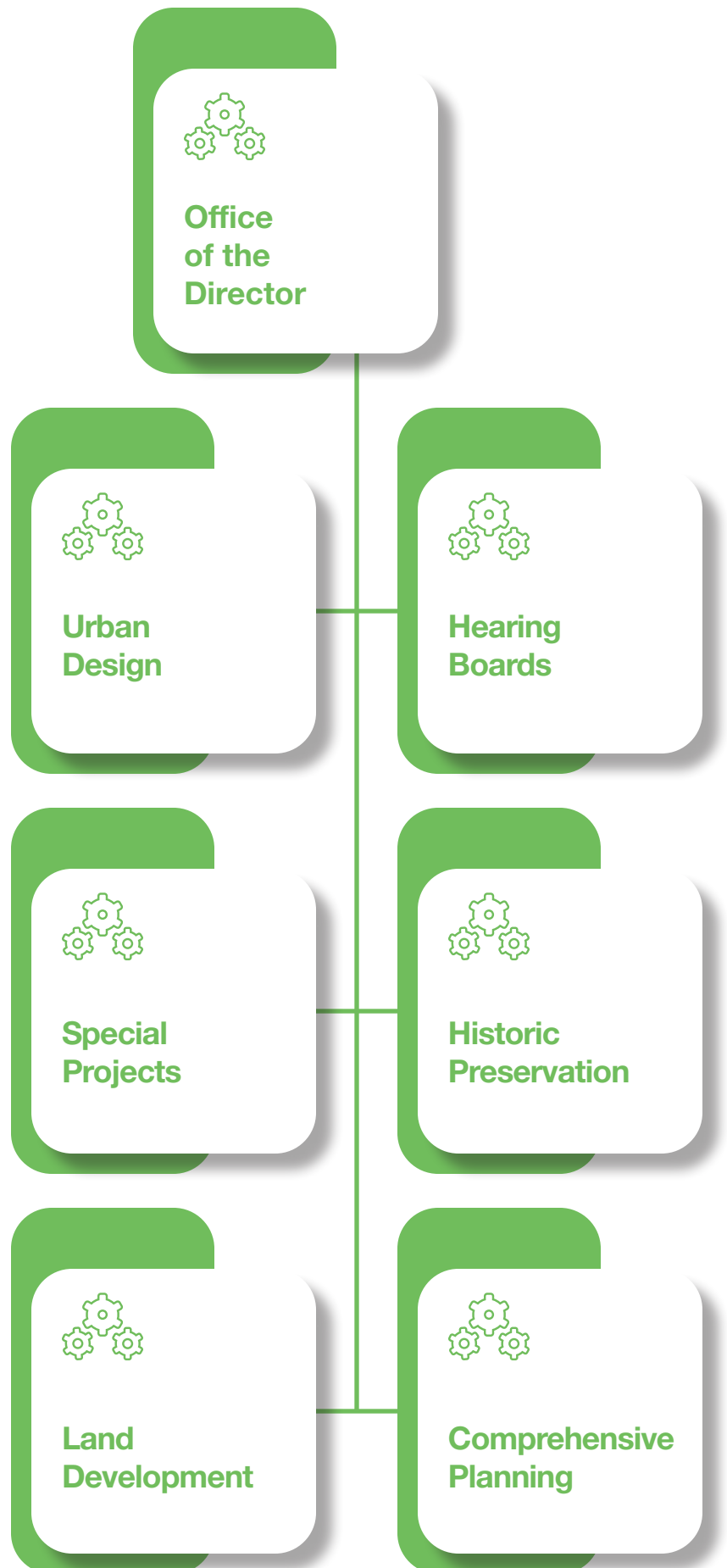
KENNETH KALMIS
Preservation Officer



RYAN SHEDD
Chief of Comprehensive



VICKIE TORANZO
Chief of Land Development



COMPREHENSIVE PLANNING

The Comprehensive Planning Division is responsible for comprehensive and policy planning related to growth concurrency issues affecting the sound development of the City. The Division uses neighborhood master plans as the building blocks to update the Miami Comprehensive Neighborhood Plan (MCNP), which guides future development of Miami, and fulfills the City's responsibilities under Florida's Growth Management laws. The Division uses Geographic Information Systems (GIS) for coordinating the information mapping needs of the various City departments and offices.

KEY INDICATORS

The Miami Comprehensive Neighborhood Plan (MCNP) stands as a key initiative within the region's strategic timeline, with the Planning Department serving as the primary gatekeeper and leading the process

Plan (MCNP) "Miami: Envisioning 2035".

Key Milestones

- March 14, 2024: The Miami City Commission unanimously voted to adopt EAR-based amendments to the MCNP during the Second Reading.
- March 19, 2024: The amendments were sent to the State Land Planning Agency and other reviewing agencies.
- May 9, 2024: The State Land Planning Agency posted the Notice of Intent (NOI), making the MCNP amendments effective on the same day.

The amendments address statutory requirements for development and redevelopment to reduce flood risk in coastal areas caused by high-tide events, storm surges, flash floods, stormwater runoff, and sea-level rise.

On November 16, 2023 the team was awarded Best Public Outreach for Miami: Envisioning 2035 by the American Planning Association Florida Gold Coast Chapter.



Population
456,742



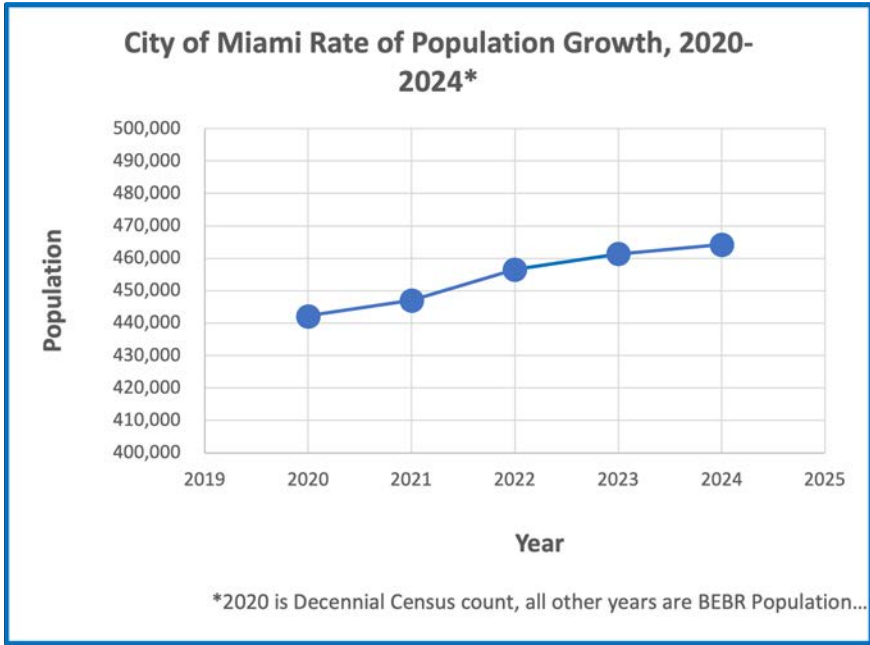
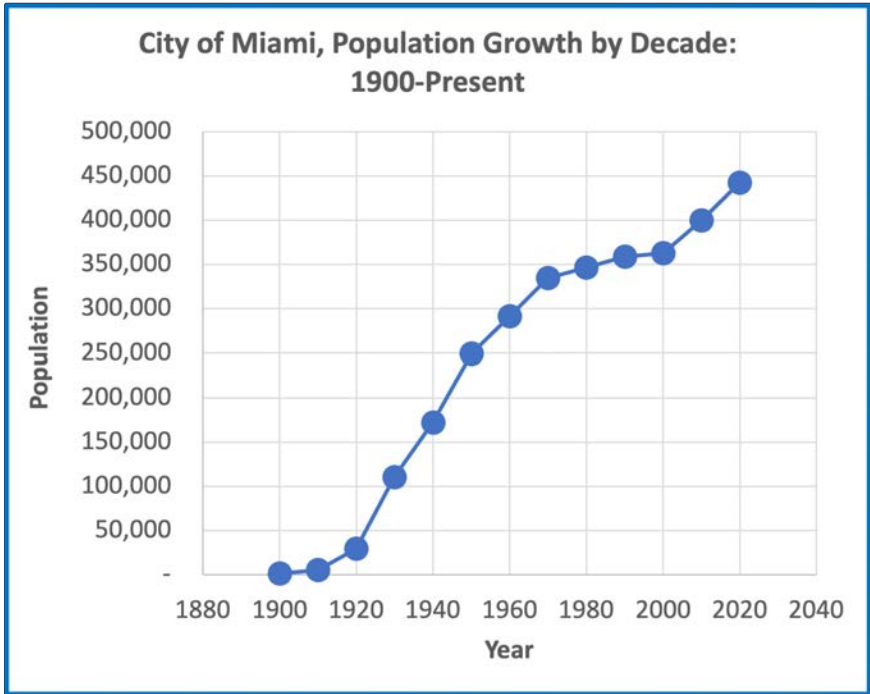
Housing Units
227,004




Households
198,593

Additionally, the Comprehensive Planning Division collects and analyzes demographic, physical, social, economic and contextual data. This data is used to inform Special Permit analysis and neighborhood plans that include high standards for architecture, landscape, and urban design.

COMPREHENSIVE PLANNING



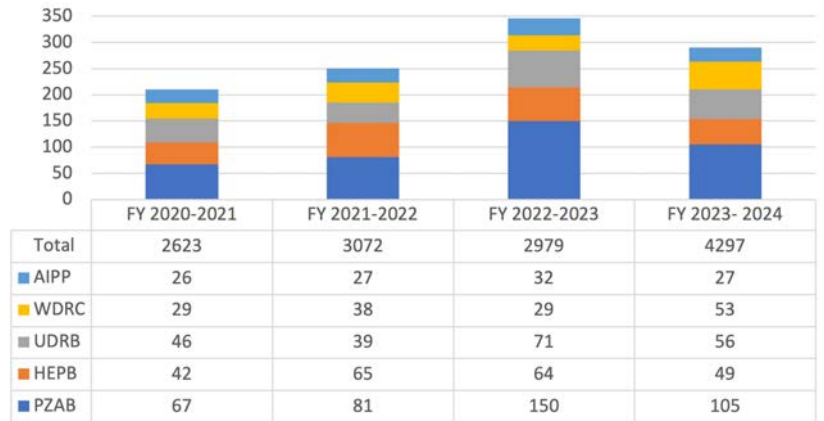

Average Household Size
2.27


Median Household Income
\$59,309

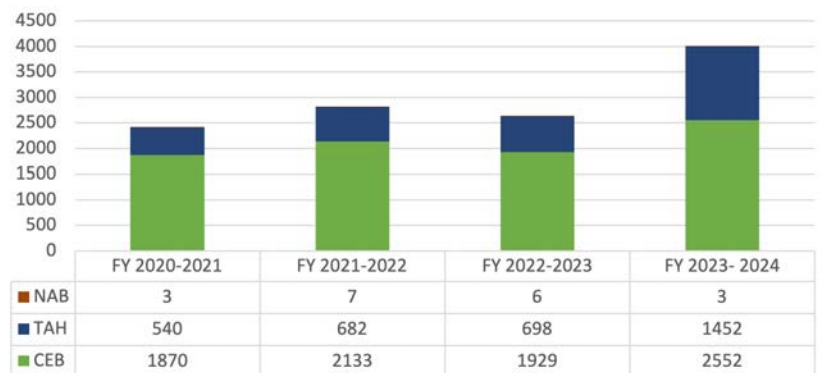
HEARING BOARDS

The Hearing Boards Division manages an extensive public participation process for the review of various permit applications and legislation through advertising, noticing, and public hearing meetings held by the City Commission (Planning and Zoning portion), the Planning, Zoning, and Appeals Board (PZAB), the Art In Public Places Board (AIPPB), the Historic and Environmental Preservation Board (HEPB), the Urban Development Review Board (UDRB), the Wynwood Design Review Committee (WDRC). Additionally, the Hearing Boards Division manages three (3) Boards for Code Enforcement: Code Enforcement Board (CEB), Ticketing Appeal Special Magistrate (TAH) and the Nuisance Abatement Board (NAB). During the 2023 – 2024 Fiscal Year Hearing Board processed a total of 4297 applications for public hearing.

Planning Boards Cases By Fiscal Year



Code Enforcement Boards Cases By Fiscal Year



The *Urban Design Division* is responsible for developing and implementing a visionary and cohesive plan for the future development of the City based on smart growth principles such as pedestrian-friendliness, compact building design, mixed-use and environmental sensibility.

The division prepares master plans that include high standards for architecture, landscape and urban design, and seeks to enhance the form and quality of our urban environment.

SPECIAL AREA PLANS (SAPS)

A Special Area Plan (SAP) allows a property, nine (9) acres or more, to be master planned, which contributes to public improvements and Infrastructure like roads, parks, and other public services. An SAP creates greater flexibility for higher or specialized quality building and streetscape design.

During the fiscal year October 1st, 2023, and September 2024, the Urban Design Division facilitated the expansion of the Design District SAP and an amendment to the River Landing SAP.

RIVER LANDING

The River Landing is a Special Area Plan (SAP) totaling approximately 8.14 acres mixed-use stacked retail center located along the Miami River, bound by NW 11th Street to the east, a residential building to the West, NW N River Drive to the North, and the Miami River to the South.

DESIGN DISTRICT

Adopted in 2011, the 22 acre Special Area Plan includes the retrofitting of four blocks linked by a central pedestrian paseo and anchored by two activated civic plazas.



URBAN DESIGN



SPECIAL PROJECTS

The *Special Projects Divisions* manages the Art in Public Places (AIPP) program and facilities development of schools, parks, affordable housing and development within Special Area Plans (SAP). The AIPP program seeks to create a stimulating and diverse cultural environment that reflects, defines, and enhances the City's heritage, values, and visions for the future through art integrated into the architecture, infrastructure, and landscape. The Art in Public Places Program specifies that 1.5% of eligible public capital improvement project funds be set aside for the commission, purchase and installation of artworks in a variety of public settings.

Marjory Stoneman Douglas Hulu sponsored Monument at Peacock Park: Chapel For A River Green



In the center of chapel will be two beautiful, hand-crafted stainless steel chairs. Reminiscent of the mangroves emerging from wetlands, visitors will be invited to sit with their companions and have intimate conversations about their commitments to preserving the environment, and thus, the future.



The miracle of the light pours over the green and brown expanse of saw grass and of water, shining and slow-moving below...

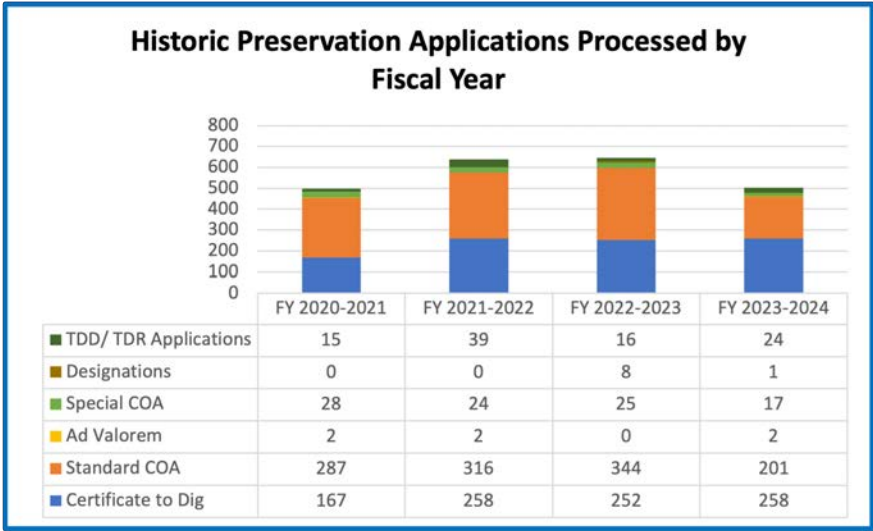
-Marjory Stoneman Douglas



The *Historic Preservation Division* promotes the identification, evaluation, rehabilitation, adaptive use, and restoration of the City’s historic, architectural, and archeological heritage. The City of Miami currently has over 100 individual resources and sites, and 10 local districts that are designated in the Miami Register of Historic Places. To ensure that the distinguishing characteristics of the City’s historical treasures are preserved, regulations are instituted in Chapter 23 of the City Code along with the adoption of the Historic Design Guidelines and the Secretary of the Interior’s Standards for Rehabilitation.

Miami’s colorful heritage is embodied by hundreds of significant properties ranging from residential neighborhoods of Mediterranean Revival style villas, Art Deco homes, Craftsman bungalows, and Bahamian cottages, to larger and more elaborate high style buildings such as the Freedom Tower and Olympia Theater as well as several archeological zones.

Miami’s significant properties are snapshots of the past and visible reminders of the community’s heritage. They also illustrate the growth and development of Miami, which began as a settlement of Native Americans and resilient pioneers that exploded into a city of distinctive style and cultural diversity.



HISTORIC PRESERVATION

LAND DEVELOPMENT

The Land Development Division is responsible for guiding developers, architects, and the general public through the entitlement (Special Permit) process. The Division applies current zoning codes to evaluate and provide recommendations that facilitate city-wide development of varying scales.

Rezone: A change in the zoning classification of a property that will result in a change of development capacity and/or Uses.

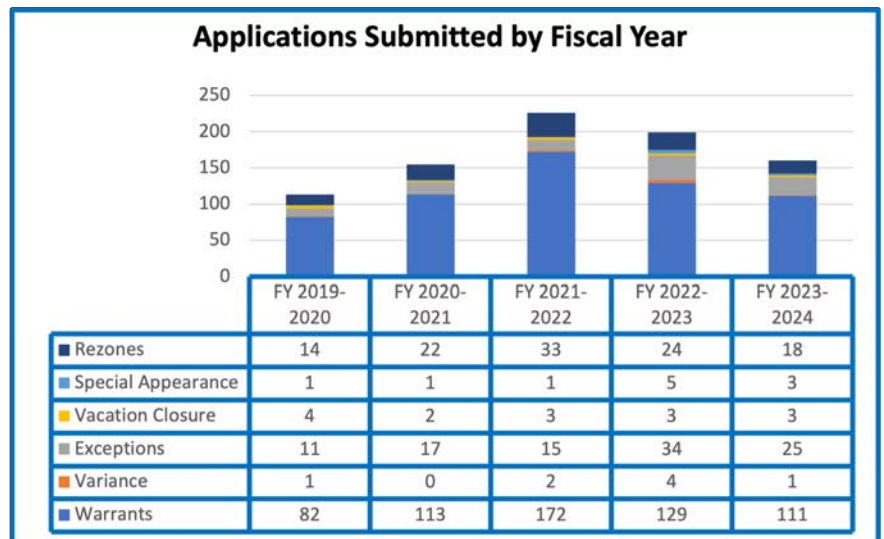
Special Appearance: An application whereby the Applicant has a request before City Commission.

Vacation Closure: Process by which to close a street or alley.

Exception: Proposed uses in Transect Zones where the function is not allowed by right.

Variance: A greater than 10% relaxation of the land use regulations of the Miami 21 Code and require a hearing before the PZAB.


Warrant: An administrative Special Permit to allow proposed Uses in transect zones where the function is not permitted by Right.







RESILIENCE & PUBLIC WORKS

The background of the left side of the page is a blue map of Miami, showing the city's grid of streets and major highways. Overlaid on this map is the title 'MISSION OF THE DEPARTMENT OF RESILIENCE & PUBLIC WORKS' in large, bold, white, sans-serif capital letters.

MISSION OF THE DEPARTMENT OF RESILIENCE & PUBLIC WORKS

MISSION STATEMENT

To maintain, improve, and modernize our City's right-of-way and stormwater infrastructure as well as transportation capacity through the best professional, technical and resilient engineering practices; and to develop and implement strategies to strengthen the resilience and sustainability of Miami's residents, infrastructure, economy and natural systems through internal and external partnerships.

ABOUT THE DEPARTMENT OF RESILIENCE AND PUBLIC WORKS

The Department of Resilience and Public Works (RPW) is responsible for engineering design and technical standards, permitting and regulation of construction of right-of-way improvements. As custodians of the public right-of-way, RPW repairs and maintains City streets, alleys, sidewalks, curbs, drainage, bridges, and canals within the public right-of-way. Integrating sustainable practices and climate resilience into daily operations.

- Oversees the implementation of the Sea-Level Rise and Flood Prevention projects.
- Responsible for stormwater management implemented under the City's National Pollution Discharge Elimination System (NPDES) permit with the Florida Department of Environmental Protection.
- Reviews permit requests, including Special Area Plans (SAPs). Manages right-of-way development, dedications, plats, and easements. Conducts traffic analysis and studies. Oversees maintenance agreements and inspects facilities.
- Performs maintenance and emergency repairs for City roadways. Responds to public complaints and dispatches work crews for repairs.
- Manages the City's Trolley service, On-Demand service for the elderly, and micro-mobility/Citi Bike programs. Provides additional mobility options, including first and last mile transit connections for residents and visitors.

RESILIENCE &
PUBLIC WORKS
**LEADERSHIP
TEAM**



JUVENAL SANTANA JR.
Director of Public Works



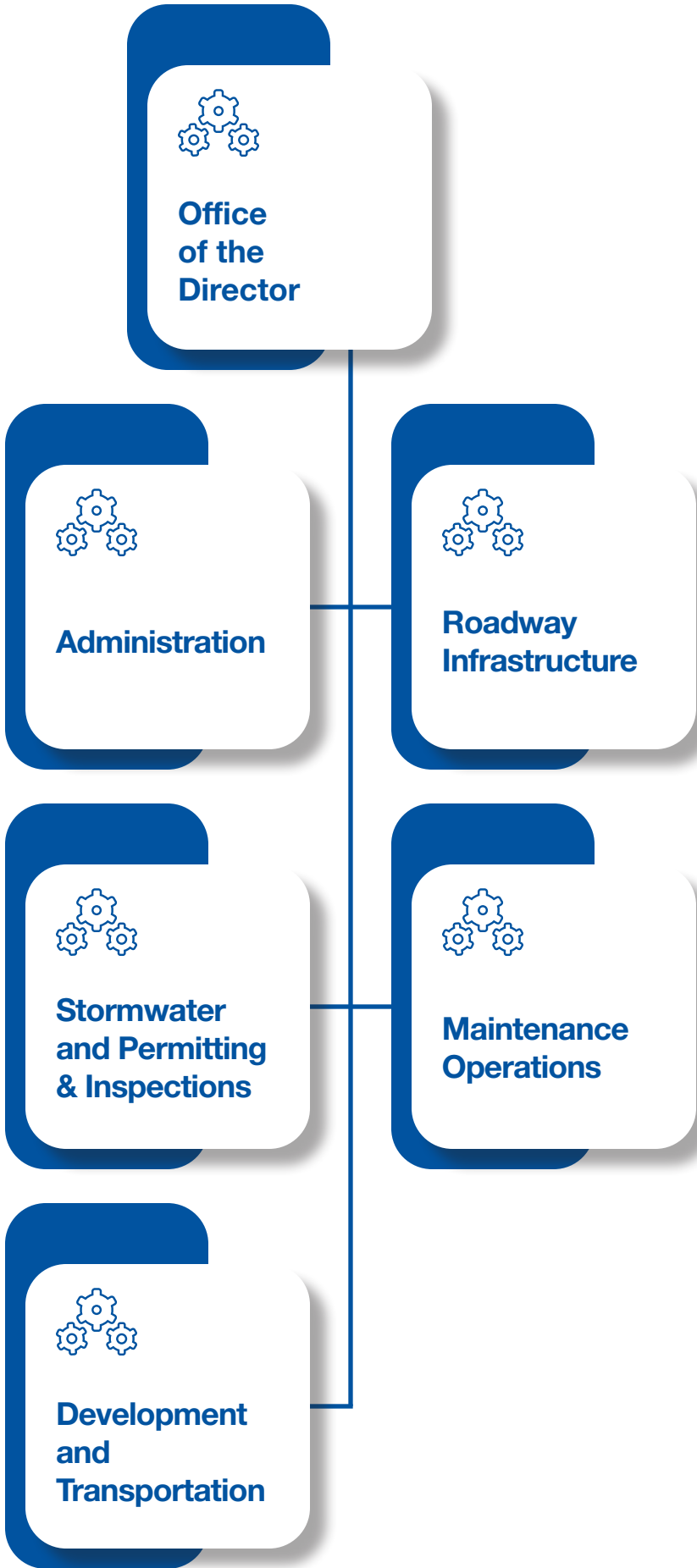
CLARA SIDAN
Assistant Director
Stormwater and Permitting



HUMBERTO GOMEZ
Assistant Director
Roadway Infrastructure



CHARLES ALFARO
Assistant Director
Development & Transportation







KEY PERFORMANCE INDICATORS

The Department of Resilience and Public Works is committed to the Administration's priority of quality-of-life improvements and strives to provide our residents with excellent services.

- Stormwater Management:

- Cleaned and maintained about 18,733 inlets.
- 1,012,945 linear feet of stormwater pipelines.
- 28 miles of canal banks.
- Maintained 13 pump stations and removed significant debris from canals and stormwater systems.

- Regulatory Measures:

- Developed a City Ordinance to prevent the disposal of landscaping waste into stormwater inlets.

- Localized Projects:

- Completed 18 localized drainage improvement projects and designed seven new ones, while addressing minor drainage issues through contractors.

- Public Infrastructure:

- Improved public right-of-way in compliance with ADA requirements.
- Updated design standards to align with current engineering practices.
- Collaborated with Florida Power and Light to upgrade 22,183 light poles to LED.

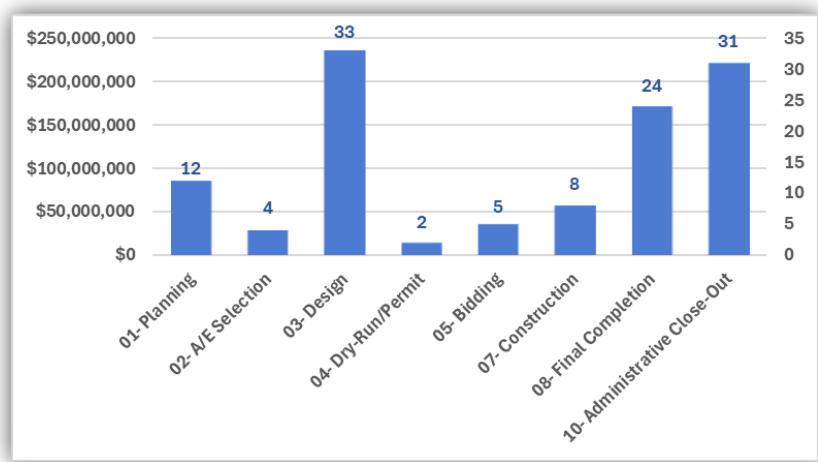
- Data Management:

- Enhanced the Citywide GIS asset management database for better data insights and efficiency, including adding new assets and resources.

KEY PERFORMANCE INDICATORS

The Department of Resilience and Public Works Roadway Infrastructure Division is working through the lifecycle of 119 projects with a value of \$582M from the Planning to the Close-out phases.

The department overall has completed 24 projects in FY 24 and is in the process of closing-out another 31 projects worth approximately \$76M while still actively engaged in the design and construction of 64 projects this period.



“As custodians of the public right-of-way, supervisors of subdivision regulations, and overseers of transportation operations, Resilience and Public Works ensures that our efforts support both growth and sustainability. By streamlining processes for infrastructure improvements, stormwater management, and roadway maintenance, we make informed decisions that prioritize people, foster collaboration, and create vibrant, safe, and sustainable neighborhoods for all.”

Juvenal Santana Jr.
Resilience & Public Works Director

ROADWAY INFRASTRUCTURE PROJECTS

B Number	Project Name	Description	Current Cost Estimate (\$)	Budget	Phase
40-B233606	8 Street Flood Improvements - SW 17 Ave to SW 22 Ave, SW 5 St to SW 12 St	Flooding and right-of-way improvements including new and upsized stormwater inlets and pipes and new exfiltration trenches.	\$ 9,781,446.00	\$ 6,183,550.49	01- Planning
40-B223802	Auburndale Flood Mitigation	Roadway reconstruction, sidewalk and driveway approach repairs, concrete curb and gutter, valley gutter, concrete walkway, crosswalks, ADA compliant ramps, drainage improvements/adjustments, utility adjustment.	\$ 53,181,040.82	\$ 30,649,197.00	01- Planning
40-B193612	D2 Roadway Project	Citywide pavement resurfacing to address needed roadway improvements throughout the City	\$ 840,327.54	\$ 840,327.54	01- Planning
40-B243610	District 5 Traffic Calming	District 5 Traffic Calming	\$ 50,000.00	\$ 50,000.00	01- Planning
40-B223801	East Flagami Flood Mitigation (Pump Station)	Flooding and right-of-way improvements including new and upsized stormwater inlets and pipes, exfiltration trenches, and a new stormwater pump station with injection wells.	\$ 70,497,875.63	\$ 48,138,495.00	01- Planning
40-B233804	East Little Havana Flood Improvements - W 12 Ave to W 17 Ave, NW 2 St to SW 6 St (Pump Station)	Flooding and right-of-way improvements including new and upsized stormwater inlets and pipes, exfiltration trenches, gravity drainage wells, injection wells, and a new stormwater pump station with an outfall to the Miami River.	\$ 37,069,877.00	\$ 49,069,439.00	01- Planning
40-B243603	Fuller Street Improvements	Roadway Improvements	\$ 400,000.00	\$ 400,000.00	01- Planning
40-B183608	La Pastorita Neighborhood Roadway Improvements Study	Planning, Design and Construction of roadway improvements to provide pedestrian friendly roadways and neighborhood beautification	\$ 679,773.23	\$ 679,773.23	01- Planning
40-B243602	Little Havana Pedestrian Priority Zone - Phase II	Pedestrian Priority Zone - Phase II	\$ 9,538,660.00	\$ 500,000.00	01- Planning
40-B243604	Silver Bluff Traffic Flow Modification	Silver Bluff Traffic Flow Modification	\$ 1,050,000.00	\$ 400,000.00	01- Planning
40-B233814	SW Wynwood Flood Improvements-NW 3rd Ave to NW 5 Pl, NW 16th St. to NW 28 St Pump Station (D-5)	Flooding and Right-of-way improvements including Force Main, Injection Wells, Pump Stations, Roadway and Drainage construction.	\$ 31,698,772.70	\$ 31,700,459.93	01- Planning
40-B243607	Traffic Calming Devices along NW 15 Avenue between NW 7 Street and NW 9 Street	Design and construction of three speed tables along NW 15 Avenue located south of NW 8th Street, south of NW 8th Terrace and north of NW 9th Street	\$ 875,000.00	\$ 32,272.19	01- Planning
40-B233817	Clemente Park Neighborhood Flood Improvements - Miami Ave. to NW 2nd Ave. and NW 30 St. to 36 St. (D-5)	The project will consist of drainage including new and upsized stormwater inlets and pipes, exfiltration trenches, a new gravity drainage well, roadway improvements including curb and gutter, ADA ramps, and	\$ 14,734,729.00	\$ 14,737,581.46	02- A/E Selection
40-B233816	Melrose Flood Improvements Phase I - NW 23 Ave to NW 19 Ave, NW 34 St NW 30 St (Pump Station)	Flooding and right-of-way improvements including new and upsized stormwater inlets and pipes and a new stormwater pump station with injection wells	\$ 11,029,882.10	\$ 15,106,942.00	02- A/E Selection
40-B50906	NE 3 Avenue from NE 54 Street to NE 58 Terrace	WASD - JPA Project. Road and swale reconstruction, drainage, miscellaneous sidewalk repairs, ADA compliance and striping	\$ 3,259,045.81	\$ 3,259,045.81	02- A/E Selection
40-B243800	Wagner Creek Embankment NW 15 Ave between NW 20 St and NW 19 Terrace	Wagner Creek Embankment Stabilization at NW 15 Ave between NW 20 St and NW 19 Terrace	\$ 10,191,437.00	\$ 413,699.66	02- A/E Selection
40-B233815	Allapattah Flood Improvements - NW 7 Ave to 14 Ave and NW 23 St to 31 St	Flooding and right-of-way improvements including new and upsized stormwater inlets and pipes, exfiltration trenches, and gravity drainage wells.	\$ 31,376,187.50	\$ 36,711,093.00	03- Design
40-B30846	Bayhomes Drive Drainage Improvements	Phase 1A: Design and construction of right of way improvements to include but not limited to roadway reconstruction, milling and resurfacing, drainage installation work (including one new injection well), minor	\$ 1,050,000.00	\$ 1,050,000.00	03- Design
40-B173642	Belle Meade Circle Cul-De-Sac Improvements	Design and construction of circle at Belle Meade Island.	\$ 3,137,694.00	\$ 332,131.89	03- Design
40-B233809	Brickell and Coconut Grove Seawalls between SE 25th Rd to Matherson Ave. and Biscayne Bay - D2	Design/Permitting & Construction of seawall & Living shoreline. Reconstruction of 215 LF of natural shoreline enhancements along the new seawall. Reduce flooding in historic repetitive loss areas.	\$ 1,659,264.50	\$ 2,489,264.50	03- Design
40-B193802	Brickell Bay Drive Seawall, Drainage and Road Improvements	Design and construction of right of way improvements to include road reconstruction, new seawall, waterfront enhancements/baywalk, new drainage system (no pump station), new green space with landscaping, and ADA	\$ 27,255,650.00	\$ 36,370,597.88	03- Design
40-B193602	Brickell Key Bridge Repairs	Repairs and rehabilitation of the Brickell Key Bridge (No. 876414) and associated seawalls. The bridge and seawall repairs involve the superstructure & substructure and include concrete repairs, cathodic protection.	\$ 7,120,709.00	\$ 4,780,000.00	03- Design
40-B233602	Buena Vista Local Drainage and Road Improvements	Buena Vista Local Drainage and Road Improvements at NE 49 Street and NE 50 Street between North Miami Avenue and NE 2nd Avenue	\$ 4,172,393.57	\$ 3,060,200.00	03- Design
40-B17365	District 5 Shorecrest Drainage Improvements	Surveying work, Drainage Study Report and Develop a Capital Plan. Design and construction of roadway and drainage improvements for Shorecrest neighborhood.	\$ 1,760,000.00	\$ 1,760,000.00	03- Design
40-B203609	Drainage Improvements at NE 10 Avenue South of NE 79 Street	Road reconstruction, drainage improvements, new sidewalks, ADA compliant ramps, new curb and gutter, new valley gutter, driveway approaches, swale restoration, pavement markings and signage at NE 10	\$ 288,438.54	\$ 590,000.00	03- Design
40-B233805	Edgewater Flood Improvements Phase I - NE 4 Ave to Biscayne Bay, NE 22 St to NE 24 St (Pump Station)	Flooding and right-of-way improvements including new and upsized stormwater inlets and pipes, lining of existing outfall pipes, and a new stormwater pump station with injection wells.	\$ 17,111,988.00	\$ 17,115,625.91	03- Design
40-B213606	Kirioch Roadway Neighborhood Improvements	Full roadway reconstruction, drainage and WASD system betterments.	\$ 3,443,884.21	\$ 1,619,633.96	03- Design
40-B213606A	Kirioch Roadway Neighborhood Improvements Phase 2	Full roadway reconstruction, drainage and WASD system betterments.	\$ 5,982,546.00	\$ 1,304,619.00	03- Design
40-B213602	Little Havana Pedestrian Priority Zone Phase I	Little Havana Pedestrian Priority Zone	\$ 5,504,338.03	\$ 5,504,338.03	03- Design

ROADWAY INFRASTRUCTURE PROJECTS

40-B233821	Mary Brickell Village Drainage Improvements Phase 2	Milling and resurfacing, drainage improvements including a pump station and deep drainage wells, and limited roadside reconstruction along streets	\$ 2,246,000.00	\$ 2,247,622.17	03- Design
40-B233601	Miami River Greenway - NW N River Dr from NW 22 Ave to NW 19 Ave	Roadway reconstruction, sidewalk widening and ADA improvements, drainage improvements, and lighting and other hardscape improvements to meet FDOT L&AP agreement requirements and Miami River Greenway and Road reconstruction, partial milling and resurfacing, drainage, adding sidewalks where none exist, ADA ramps, lighting, environmental/archaeological assessment	\$ 5,192,815.00	\$ 690,000.00	03- Design
40-B183603	Miami River Greenway Curtis Park East	Roadway reconstruction, partial milling and resurfacing, drainage, adding sidewalks where none exist, ADA ramps, lighting, environmental/archaeological assessment	\$ 5,183,204.00	\$ 480,000.00	03- Design
40-B233813	North Grapeland Heights (NGHS) Seawall Replacements and Upgrades (D-1)	Design/Permitting & Construction of seawall & Living shoreline. Reconstruction of 91 LF of natural shoreline enhancements along the new seawall. Reduce flooding in historic repetitive loss areas.	\$ 356,405.57	\$ 437,527.00	03- Design
40-B213605	NW 11 Street from NW 1 Avenue To NW 3 Avenue	Roadway reconstruction of the existing corridor. The proposed improvements consists of new pavement, on street parking, planters, new sidewalks, curb and gutter, driveway approaches, minor utility adjustments, water	\$ 2,194,728.00	\$ 364,139.46	03- Design
40-B183611A	NW 17 Street from NW 32 to NW 37 Avenue	Roadway Improvements and Construction Administration.	\$ 6,717,280.00	\$ 5,572,828.69	03- Design
40-B183611	NW 17th Street from NW 27 to NW 32 Avenue	Pavement reconstruction, drainage, curbs, sidewalks, swale regrading / sodding, driveways, ramps, pavement marking and signage.	\$ 7,884,329.00	\$ 8,293,563.11	03- Design
40-B233603	NW 5th Ave Traffic Calming Devices	Design and construct one speed hump on NW 5 Ave between NW 42 St. and NW 43 St., Raise intersection between NW 5 Ave and NW 50th Street.	\$ 1,214,705.00	\$ 357,269.34	03- Design
40-B233810	Replacement of 8 Seawalls in Edgewater between NE 22 St to NE 34 St. along Biscayne Bay - D2	Work includes replacing approximately 380 LF of seawalls; lining/bursting/reconstruction of outfall pipes; installing tidal valves, manatee grates, rip-rap, guardrails/signs.	\$ 3,111,882.00	\$ 4,667,882.00	03- Design
40-B233811	Replacement of Seawalls Morningside between NE 55 Terr, NE 65 St and Biscayne Bay - D2	Design/Permitting & Construction of seawall & Living shoreline. Reconstruction of 290 LF of natural shoreline enhancements along the new seawall. Reduce flooding in historic repetitive loss areas.	\$ 1,553,537.97	\$ 1,826,761.42	03- Design
40-B233812	Replacement of Seawalls Shorecrest between NE 84 St and Ademar Canal; NE Bayshore Dr. and Davis Canal - D5	Work includes replacing 60 LF of seawalls; lining/bursting/reconstruction of outfall pipes; installing tidal valves, manatee grates, 405 LF of rip-rap, guardrails/signs & 10' baywalk.	\$ 2,395,470.80	\$ 2,708,135.00	03- Design
40-B233803	Shorecrest South Flood Improvements - NE 8 Ct to NE Bayshore Ct, NE Little River Dr to NE 79 St (Pump Station)	New and upsized stormwater inlets and pipes, exfiltration trenches, injection wells, and a new stormwater pump station with an outfall to Biscayne Bay.	\$ 16,067,930.00	\$ 24,101,930.00	03- Design
40-B173613	South Golden Pines No Outlet Streets Improvements	Total Reconstruction, ADA, and major drainage improvement, landscaping (trees), valley gutters. Acquisition of perpetual easements, some widening.	\$ 9,557,063.00	\$ 5,694,981.58	03- Design
40-B223601	Spring Garden Traffic Calming Devices	Design and construction Scope updated for design and construction of three calming devices (2 raised intersections and 1 speed hump). Work also includes restriping at NW 9 Ct at NW 11 St. to provide dedicated	\$ 1,299,202.00	\$ 270,000.00	03- Design
40-B173619	SW 15 Road from SW 3 Avenue and SW 11 Street	Reconstruction of roads, drainage, curb and gutter, landscaping, sidewalk, and ADA ramps	\$ 1,920,725.00	\$ 454,805.75	03- Design
40-B203519	Swannanoa Mini Park - Right of Way Improvements	Design of right of way improvements to include milling and resurfacing within intersection limits, roadway reconstruction of areas impacted by drainage installation work, curb and gutter installation, and ADA ramps.	\$ 1,812,216.18	\$ 109,668.99	03- Design
40-B243600	Tamiami Blvd Roadway Drainage Improvements	Right-of-Way Improvements along three adjacent City-owned roads that include: Tamiami Boulevard, SW 71st Avenue and SW 3rd Street.	\$ 7,215,419.58	\$ 5,000,000.00	03- Design
40-B203614	Traffic Circle at North Bayshore	Design Traffic Circle ** Project to be funded by OMNI CRA **	\$ 2,594,779.00	\$ 2,112,000.00	03- Design
40-B243608	West Grapeland Traffic Calming	Speed tables along NW 41st ave between NW 7th St & NW 9th St; NW 40th ave between NW 7th St & NW 9th St; NW 39th Ct between NW 7th St & NW 9th St; Traffic Circle @NW 40th Ave & NW 9th St. @NW 39th Ct &	\$ 1,797,954.00	\$ 296,965.65	03- Design
40-B183610	West Grove Roadway Improvements	Reconstruction of road and drainage improvements, milling and resurfacing, ADA ramps upgrades, sidewalk and driveway approach, pavement markings restoration and landscaping, curb and gutter installation, Lighting and	\$ 3,617,822.00	\$ 484,699.47	03- Design
40-B173655	Auburndale Traffic Device (SW 32 Avenue and 2 Street)	Design and construction of a raised Intersection with roadway improvements (includes drainage)	\$ 1,335,790.00	\$ 231,267.32	04- Dry-Run/Permit
40-B30756	NW 30 Street Improvement	Roadway reconstruction and/or milling and resurfacing, water main replacement, curb and gutters, miscellaneous sidewalk repairs, ADA compliance and striping	\$ 6,128,362.47	\$ 1,599,746.12	04- Dry-Run/Permit
40-B50104	NW 13 Street from NW 35 Avenue to NW 37 Avenue	WASD - JPA Project. Specifically for water line replacement. Milling and resurfacing, repair pot holes, ADA ramps where applicable and minor drainage	\$ 3,443,909.74	\$ 3,266,432.54	05- Bidding
40-B50104T	NW 13 Street from NW 35 Avenue to NW 37 Avenue - Tree Component	Purchase of trees and landscaping at NW 13 Street from NW 35 Avenue to NW 37 Avenue	\$ 26,000.00	\$ 26,000.00	05- Bidding
40-B30737	South Bayshore Lane/Fairview Street - East and West Phase I and Phase II	Phase I: Roadway reconstruction; Phase II - Stormwater Pump Station Construction	\$ 12,416,698.00	\$ 12,423,661.55	05- Bidding
40-B50412	SW 23 Terrace from SW 27 Avenue to SW 32 Avenue	Install 2,700 LF of water main, sidewalk, curbs, drainage system, milling and resurfacing, reconstruction, overbuild, pavement marking, landscaping, and sodding	\$ 4,596,425.00	\$ 1,888,905.22	05- Bidding
40-B203610	SW 5 Street from SW 29 Avenue to SW 32 Avenue - Reconstruction	Roadway improvements on SW 5 Street from SW 29 Avenue to SW 32 Avenue; Design and Construction	\$ 3,062,751.93	\$ 2,584,378.07	05- Bidding
40-B193615	Buena Vista - Traffic Calming Devices - Phase II	Design and construction of seven traffic calming devices in the Buena Vista neighborhood.	\$ 1,811,864.00	\$ 724,815.09	07- Construction
40-B233607	District 4 Traffic Calming - Phase II	Roadway improvements include, roadway milling and resurfacing, striping, signage, swale restoration, tree planting, damaged sidewalk, driveway, curb and gutter replacement.	\$ 1,028,200.00	\$ 1,028,200.00	07- Construction
40-B50904	NW 7 Street Road from NW North River Drive to South of NW 9 Avenue	Drainage improvements, pavement restoration, sidewalk repairs and new curb and gutter.	\$ 2,634,441.00	\$ 2,876,639.56	07- Construction

ROADWAY INFRASTRUCTURE PROJECTS

40-B173648	Overtown Greenway along NW 11 Street from NW 7 to NW 12 Avenue	FDOT LAP Funded Project Curb and gutter, decorative sidewalk treatment, specialty signage, trash receptacles, benches and landscaping	\$ 1,638,665.76	\$ 1,649,734.89	07- Construction
40-B213601	South Grove Traffic Study - Construction	South Grove Traffic Calming Implementation	\$ 910,000.00	\$ 910,000.00	07- Construction
40-B50413	SW 24 Street from SW 27 Avenue to SW 32 Avenue	Driveway approaches, sidewalk, curbs, drainage system, milling and resurfacing, reconstruction, pavement marking, swale re-grading and sodding. WASD: Install 8 inch water main.	\$ 9,000,996.35	\$ 6,516,932.58	07- Construction
40-B50309	SW 9 Avenue from SW 23 to SW 22 Road	Curb and gutter repairs, milling and resurfacing, localized drainage and sidewalk repairs	\$ 785,448.48	\$ 377,421.48	07- Construction
40-B193622	Very Poor Condition Roads - Outside Priority Drainage Basins - Phase I	Reconstruct 3.7 miles of roads in the Very Poor category that fall outside of the priority drainage basins, as outlined in the Bond Tranche 1 back up documentation.	\$ 8,067,666.99	\$15,659,336.99	07- Construction
40-B213600	ADA Compliance - On-Street Parking	Correct ADA deficiencies in seven locations.	\$ 1,220,000.00	\$ 1,220,000.00	08- Final Completion
40-B30874	Brickell Avenue from SE 15 Road to SE 8 Street	Sidewalk improvements, new curb and gutter, repair of driveway approach as needed, addition of crosswalks, identification of broken light fixtures as well as decorative tree guards and striping	\$ 2,097,247.34	\$ 2,097,247.34	08- Final Completion
40-B183612	Charles Avenue from Main Highway to South Douglas Road	Roadway Improvements	\$ 4,630,147.72	\$ 2,983,628.22	08- Final Completion
40-B203608	District 4 Traffic Calming	Design and Construction of Traffic Calming Devices in 19 locations	\$ 692,940.35	\$ 692,940.35	08- Final Completion
40-B30011	Englewood Road and Storm Sewer Improvements - Phase IV	Drainage improvements, pavement restoration, new curb and gutter, driveway approach repairs, and swale restoration	\$ 5,754,401.04	\$ 5,754,401.04	08- Final Completion
40-B193522	Gold Star Family Memorial Mini Park	Design and construction of new mini-park and ROW improvements.	\$ 1,509,048.00	\$ 1,509,048.00	08- Final Completion
40-B40347	Grove Park Road Improvements - Phase II	Pavement restoration, new curb and gutter, sidewalk repairs, drainage improvements, ADA compliant ramps, and surface restoration	\$ 3,164,346.02	\$ 4,860,254.47	08- Final Completion
40-B30960	La Pastorita Traffic Calming and Miscellaneous Improvements	Design and construct traffic devices at two locations	\$ 473,103.12	\$ 473,112.47	08- Final Completion
40-B30637	Mary Brickell Village Drainage Improvements	Milling and resurfacing, drainage improvements including a pump station and deep drainage wells, and limited roadside reconstruction along streets	\$ 5,423,618.52	\$ 5,423,618.52	08- Final Completion
40-B233819	Miami Localized Flooding Improvements (D-3)	Installation of new and upsized stormwater inlets and pipes and new exfiltration trenches, curb, gutter and broken sidewalk replacement, new asphalt and other right of way improvements.	\$ 916,498.00	\$ 5,558,000.00	08- Final Completion
40-B50408	Silver Bluff Traffic Calming Improvements	Adding of traffic calming elements as per traffic calming study	\$ 684,351.46	\$ 684,351.46	08- Final Completion
40-B30833	SW 1 Avenue from SW 15 and SW 7 Street	Curb replacement, ADA ramp improvements, milling and resurfacing, minor drainage	\$ 1,145,180.00	\$ 1,254,835.34	08- Final Completion
40-B50311	SW 12 Street from SW 16 and SW 17 Avenue	Milling and resurfacing, drainage, miscellaneous sidewalk repairs, ADA compliance and striping	\$ 287,125.05	\$ 287,125.05	08- Final Completion
40-B50316	SW 14 Terrace from SW 16 Avenue to SW 17 Avenue	Milling and resurfacing, drainage, miscellaneous sidewalk repairs, ADA compliance and striping	\$ 88,783.08	\$ 88,783.08	08- Final Completion
40-B50312	SW 17 Street from SW 16 and SW 14 Avenue	Milling and resurfacing, drainage, miscellaneous sidewalk repairs, ADA compliance and striping	\$ 88,327.82	\$ 88,327.82	08- Final Completion
40-B50312A	SW 17 Street from SW 16 and SW 17 Avenue	Milling and resurfacing, minor drainage improvements, repair of sidewalk and ADA compliance	\$ 309,337.53	\$ 309,337.53	08- Final Completion
40-B50407	SW 22 Terrace from SW 27 Avenue to SW 32 Avenue	Drainage improvements, pavement restoration, swale turf blocks, swale restoration, sidewalk and driveway approach repairs and ADA ramps as needed	\$ 550,000.27	\$ 550,000.27	08- Final Completion
40-B50407A	SW 22 Terrace from SW 32 Avenue to SW 37 Avenue -CDBG 91-03549	CDBG Funded Project (91-03549) Drainage improvements, pavement restoration, swale turf blocks, swale restoration, sidewalk restoration, and ADA ramps as needed	\$ 278,081.99	\$ 278,081.99	08- Final Completion
40-B183609	SW 22 Terrace Traffic Calming	Design and construction of two speed humps.	\$ 34,978.06	\$ 35,000.00	08- Final Completion
40-B50414	SW 24 Terrace from SW 27 Avenue to SW 32 Avenue	Design and construction of right-of-way improvements including driveway approaches, sidewalks, ADA ramps, valley gutters, curbs, drainage system, milling and resurfacing, roadway reconstruction, pavement markings and signage, swale regrading and sodding.	\$ 4,762,302.00	\$ 4,762,301.63	08- Final Completion
40-B173652	SW 25 Avenue Roadway Improvements from SW 25 Terrace to SW 26 Street	Reconstruction, milling and resurfacing and drainage improvements, curb and gutter replacement	\$ 411,369.81	\$ 411,369.81	08- Final Completion
40-B50421	SW 25 Street from SW 27 Avenue to SW 32 Avenue	New 8-inch water main, driveways, sidewalk, curbs, drainage system, milling and resurfacing, reconstruction, overbuild, pavement marking, swale re-grading and sodding	\$ 4,853,136.16	\$ 4,853,136.16	08- Final Completion
40-B50308	SW 5 Avenue and SW 21 Road to SW 4 Avenue and SW 22 Road	Swale and Street repairs and restoration that include but not limited to Milling and resurfacing, swales, curb and gutter and Sidewalk Repairs, localized drainage, desilting and traffic markings	\$ 189,395.00	\$ 189,395.00	08- Final Completion
40-B30966	SW 5 Street from SW 27 Avenue and SW 28 Avenue - Roadway Improvements	Install new 8-inch water main, drainage improvements, pavement restoration, new curb and gutter, swale restoration and pavement markings and signage	\$ 555,853.34	\$ 595,853.34	08- Final Completion
40-B50902	A Media Art Entertainment	NE Overtown, Roadway Improvement. Milling and resurfacing, replace damaged sidewalks, curb and gutter, misc drainage, ADA ramps and pvment markings	\$ 1,323,726.54	\$ 1,339,472.40	10- Administrative Close-Out

ROADWAY INFRASTRUCTURE PROJECTS

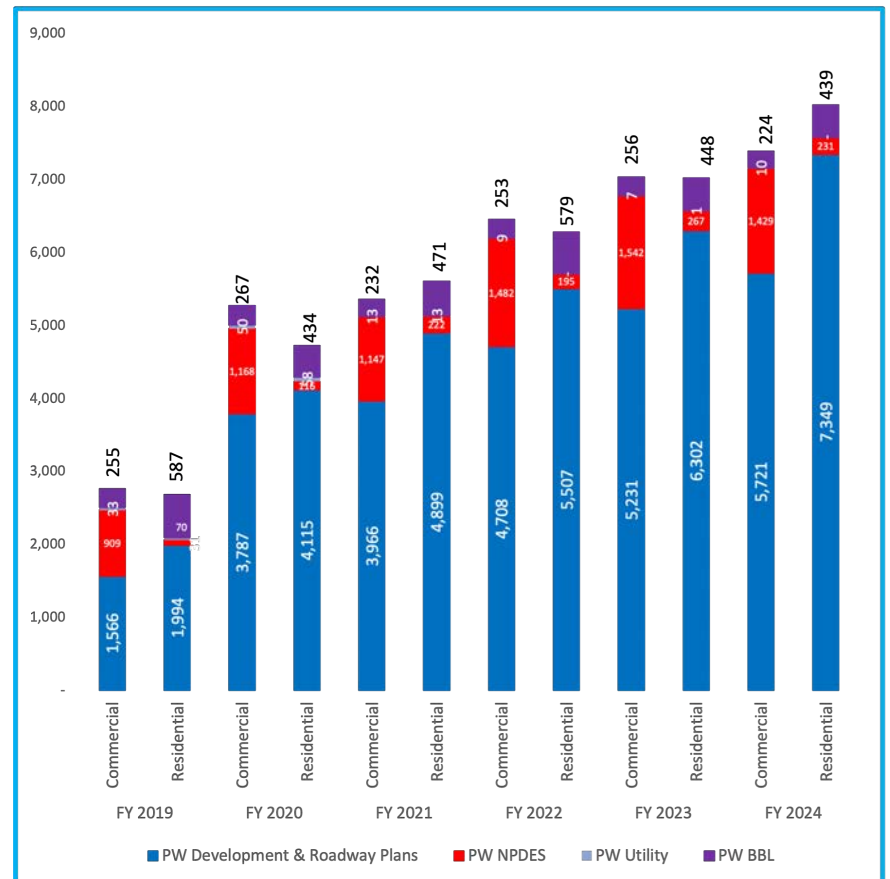
40-B183607	Auburndale Traffic Calming	Installation of traffic calming devices at SW 2nd Street	\$ 40,000.00	\$ 33,359.40	10- Administrative Close-Out
40-B39910K	Bayside Historic Sign	Replacement of existing street signs and stop signs with new historical style signs located within the Bayside Historic Neighborhood	\$ 87,000.00	\$ 82,000.00	10- Administrative Close-Out
40-B193620	Buena Vista Neighborhood Traffic Calming	Installation of traffic calming devices at approximately 7 locations	\$ 351,994.73	\$ 355,994.73	10- Administrative Close-Out
40-B183615	Citywide Neighborhood Speed Reduction Signage	Installation of approximately 2,300 speed signs (25 MPH) Citywide which was approved by Miami Dade County January 8, 2018	\$ 1,306,000.00	\$ 1,066,592.49	10- Administrative Close-Out
40-B30687	Coconut Grove Business Improvement District Street Improvements	Milling and resurfacing, curb and gutters, sidewalks, drainage improvements, new pavers, landscaping, and pavement markings	\$ 6,938,185.00	\$ 6,991,511.36	10- Administrative Close-Out
40-B193601	Coral Nook Circle	Roadway reconstruction and narrowing at Coral Nook Circle including drainage, curbing, ADA compliance, striping, landscaping and signage. Scope also includes park improvements.	\$ 1,273,372.80	\$ 1,304,448.68	10- Administrative Close-Out
40-B17361	District 2 - Increase Downtown Lighting	Lighting beautification within the Downtown neighborhood	\$ 218,421.44	\$ 218,421.44	10- Administrative Close-Out
40-B17364	District 5 Neighborhood Signage and Wayfinding	Neighborhood Signage and Wayfinding within District 5	\$ 224,235.00	\$ 224,234.97	10- Administrative Close-Out
40-B50907	Dorsey Park Neighborhood Roadway Improvements	Dorsey Park Roadway Improvements. Milling and resurfacing, replacement of damaged sidewalks, curb and gutter, misc drainage, ADA ramps and pment markings.	\$ 1,154,846.53	\$ 1,171,453.66	10- Administrative Close-Out
40-B30941	Downtown Miami Signage and Wayfinding System	DDA Signage and Wayfinding study. Through a FDOT Transportation Enhancement Grant, the City will finalize the design and install the wayfinding signs throughout the DDA area	\$ 2,406,808.00	\$ 2,311,228.93	10- Administrative Close-Out
40-B203521	Maurice Ferre Park - Wall Demolition	Demolition of retaining wall and area restoration post-demolition	\$ 625,559.07	\$ 625,559.07	10- Administrative Close-Out
40-B30630AT	NE 71 Street from NE 4 Court to Biscayne Boulevard - Tree Component	Tree component - Reference project B30630A and B30630	\$ 20,000.00	\$ 255.95	10- Administrative Close-Out
40-B183616	NE Miami Court Railroad Crossing Closure	Roadway reconstruction to close the railroad crossing located the intersection of NE Miami Court and 71st Street	\$ 856,633.00	\$ 385,389.00	10- Administrative Close-Out
40-B50112	NW 13 Avenue from NW 21 Street and NW 23 Street	Milling and resurfacing, limited partial reconstruction, miscellaneous drainage, replacement of existing damaged sidewalks and minor landscaping	\$ 2,066,551.83	\$ 798,010.95	10- Administrative Close-Out
40-B30723	NW 24 Avenue Roadway Improvement Project	New 12" water main, drainage improvements, pavement restoration, sidewalk, driveway approaches, news curbs, swale restoration, and pavement marking and signage	\$ 1,830,350.00	\$ 1,830,350.00	10- Administrative Close-Out
40-B30624	Overtown Greenway at NW 11 Terrace	Urban pathways, landscaping and ancillary site improvements to the NW 11 Terrace and former FEC Railway Corridor	\$ 3,301,995.00	\$ 3,301,994.52	10- Administrative Close-Out
40-B203605	Parking on Biscayne (MiMo District)	Design and construct 28 proposed parking spaces along Biscayne Boulevard from NE 63 to NE 76 Street	\$ 667,194.00	\$ 36,000.56	10- Administrative Close-Out
40-B173901	Railroad Crossing at NE 42 Street and South Dixie Highway	Roadway reconstruction and enhancement of ADA compliant sidewalks, and signage as needed	\$ 5,571,420.00	\$ 2,625,611.00	10- Administrative Close-Out
40-B50205	SE 12 Terrace Roadway Improvements	Milling and resurfacing, minor road repairs and striping and pavement markings.	\$ 85,965.84	\$ 83,465.84	10- Administrative Close-Out
40-B203518	Shenandoah Mini Park - Right of Way Improvements	Design and construction of right of way improvements to include milling and resurfacing within intersection limits, roadway reconstruction of areas impacted by drainage installation work, curb and gutter installation and ADA	\$ 1,328,454.00	\$ 1,041,852.60	10- Administrative Close-Out
40-B30836	South Grove Roadway and Drainage Improvements - Phase III	Roadway reconstruction, paving, drainage, water main installation, curb and gutters. Battersea Road-Installation of traffic calming devices.	\$ 1,960,812.59	\$ 1,960,812.59	10- Administrative Close-Out
40-B173630	SW 15 Street from SW 12 Avenue to SW 13 Avenue	Milling and resurfacing, drainage improvements, replacement of damaged curb and gutter, sidewalks, driveway approaches, ADA Ramps, signing and pavement marking, utility coordination and permits	\$ 377,449.00	\$ 377,449.00	10- Administrative Close-Out
40-B50322	SW 15 Street from SW 13 Avenue to SW 14 Avenue	Milling and resurfacing, drainage, miscellaneous sidewalk repairs, ADA compliance and striping	\$ 51,000.00	\$ 51,000.00	10- Administrative Close-Out
40-B50305	SW 18 Street from SW 12 Avenue to SW 13 Avenue	Milling and resurfacing, drainage, miscellaneous sidewalk repairs, ADA compliance and striping	\$ 141,662.00	\$ 141,662.00	10- Administrative Close-Out
40-B173626	SW 23 Avenue from SW 3 Street and SW 4 Street	Drainage improvements, milling and resurfacing, new concrete curbs, performance sod , landscaping and pavement markings	\$ 123,184.12	\$ 123,184.12	10- Administrative Close-Out
40-B173650	SW 23 Street Roadway Improvements from SW 25 Avenue to SW 27 Avenue	Reconstruction, milling and resurfacing and drainage improvements, curb and gutter replacement	\$ 299,173.12	\$ 294,374.00	10- Administrative Close-Out
40-B173620	SW 28 Road from SW 3 to SW 4 Avenue	Drainage improvements, pavement restoration, sidewalk and driveway approach repairs, new curb and gutter, swale restoration and striping and pavement markings	\$ 221,942.34	\$ 221,942.34	10- Administrative Close-Out
40-B30969	SW 30 Court from SW 12 Street to SW 13 Street	Drainage improvements, milling and resurfacing,, driveways approaches, sodding, and pavement markings	\$ 254,956.15	\$ 254,956.15	10- Administrative Close-Out
40-B193619	The Roads Neighborhood - Traffic Calming	Installation of traffic calming devices at approximately 5 locations	\$ 338,118.29	\$ 338,118.29	10- Administrative Close-Out
40-B50505	Traffic Calming Device at Intersection of SW 32 Avenue and SW 5 Street	Add traffic calming, ADA, Landscape, Drainage, S and P markings and improve safety near school	\$ 1,219,225.17	\$ 1,219,225.17	10- Administrative Close-Out
			\$ 640,919,290	\$ 529,960,396	

KEY PERFORMANCE INDICATORS

RPW - DEVELOPMENT PERMITS

Developments in the City often increases the number of people using the streets and sidewalks, which can burden existing infrastructure such as drainage, sidewalks and roadways. RPW ensures that stakeholders, residents and the City work together to improve the City's public right-of-way to benefit all the residents.

RPW permits reviewed increased by 77.4% and inspections increased by 53% in FY24 compared to FY19.

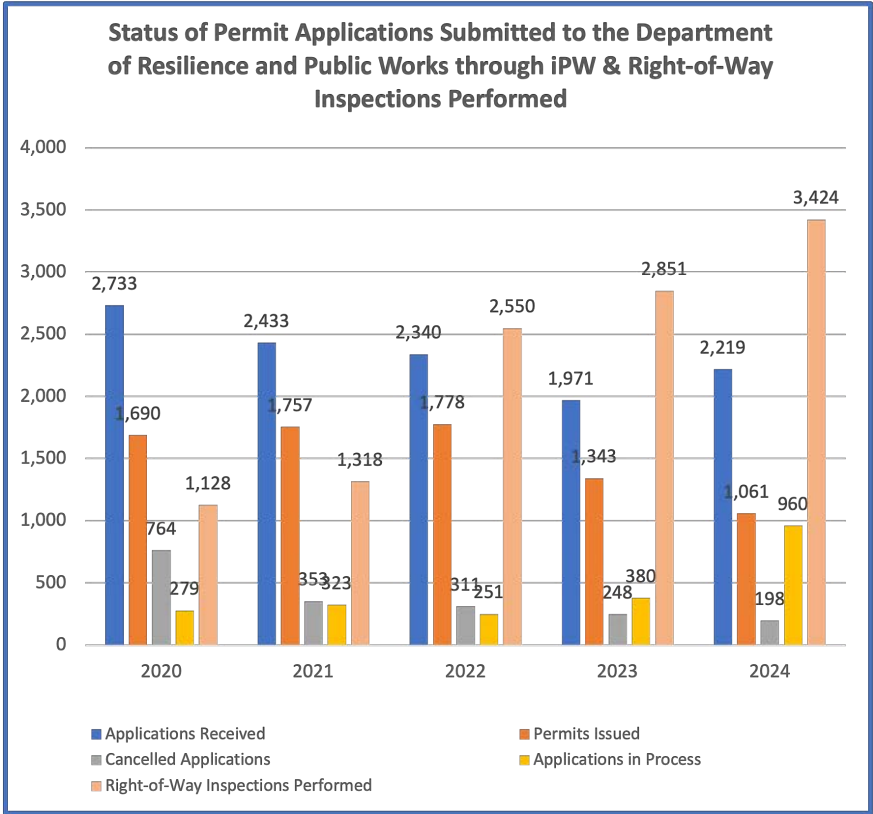


During FY 2023-2024, RPW reviewed 15,548 permits, +9% growth from prior year.

RIGHT-OF-WAY PERMITTING AND INSPECTIONS

The Department of Resilience and Public Works conducts a review process of submitted applications, engineering, and temporary traffic control plans to ensure compliance with the City Code, and Public Works Standards and Bulletins, as well as other applicable regulatory requirements from the local, county, and state levels before the issuance of construction and non-constructions permits such as Dry-runs, right-of-way closures, sidewalk cafés, temporary banners, and utility permits.

KEY PERFORMANCE INDICATORS

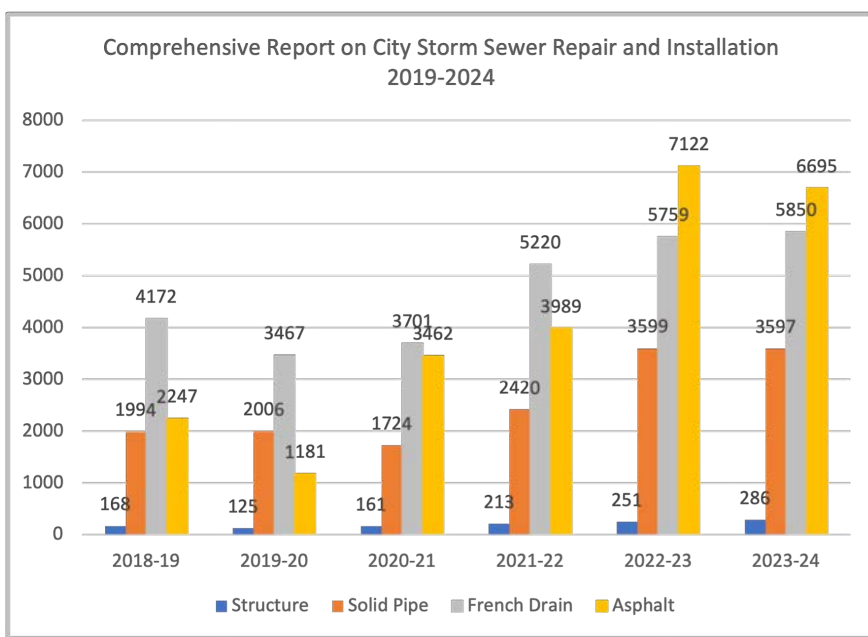


KEY PERFORMANCE INDICATORS

CITYWIDE STORM SEWER REPAIRS AND INSTALLATION

The city can better manage stormwater by installing new structures, solid pipes, and French drains, significantly reducing the risk of flooding. This is crucial to protect homes, businesses, and public spaces from water damage. Also allowing for safer and better traffic mobility. Improved stormwater management helps prevent the contamination of local water bodies, reducing health risks associated with polluted runoff and leading to cleaner, safer environments for residents.

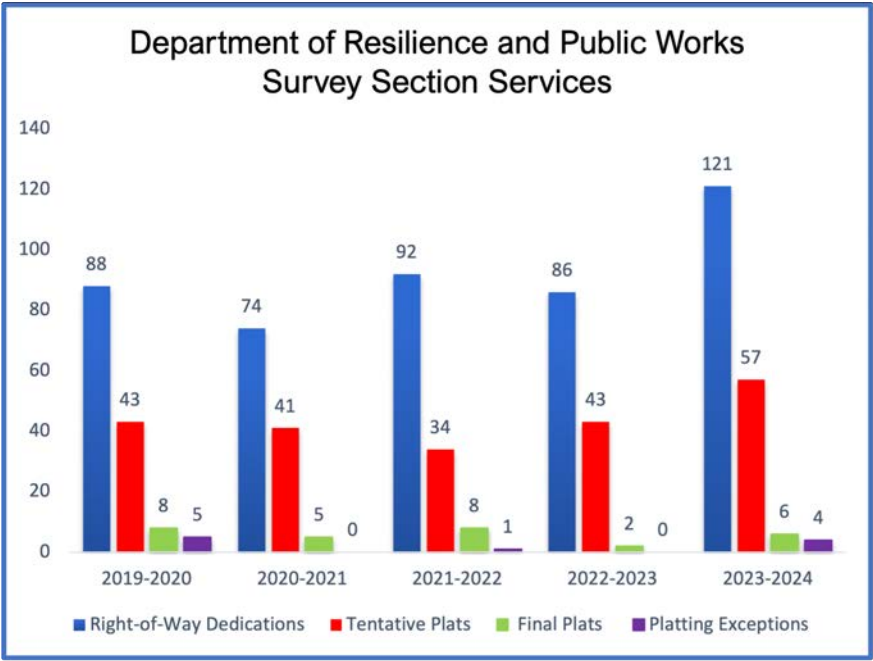
Additionally, better stormwater management can increase property values by reducing the risk of flood damage. By proactively addressing stormwater issues, the city enhances its resilience to extreme weather events. This preparedness helps communities recover more quickly from storms and other natural disasters.



PLATTING AND RIGHT-OF-WAY DEDICATION PROCESS

The Survey Division provides architects, engineers, surveyors, and the general public with information on public road right-of-way widths, benchmark elevations, plats and platting processes, and related matters.

- **Platting Process:** Accepts, reviews, and processes Tentative Plats. Prepares agenda and the production of the Plat and Street Committee public meeting. Reviews and processes alley vacation and closure and reconfiguration. Reviews and processes Final Plats. Prepares legislation for City Commission action. Sends the Final Plat to Miami-Dade County for its recordation.
- **Right-of-Way Dedication Process:** Accepts and reviews the documentation for the processing and preparing Right-of-Way Deeds of dedication. Prepares legislation for City Commission action. Records of Right-of-Way Deeds in the public records of Miami-Dade County.



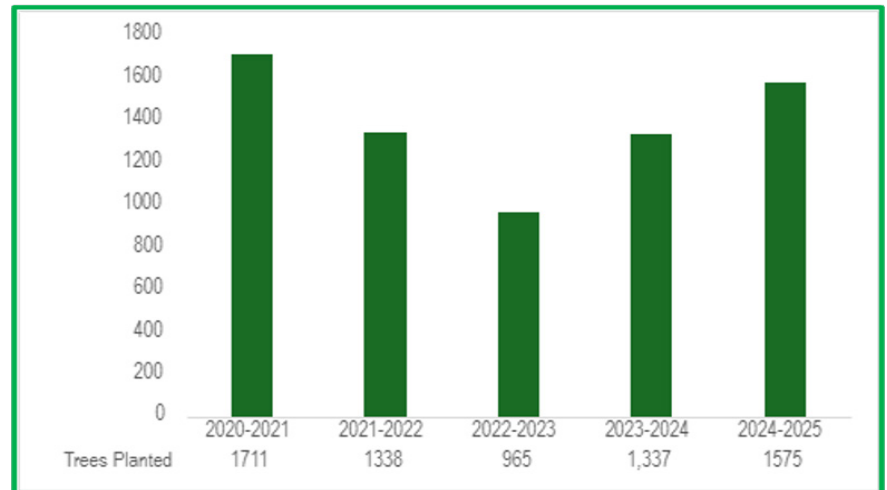
KEY PERFORMANCE INDICATORS

KEY PERFORMANCE INDICATORS

URBAN FORESTRY

The Department of Resilience and Public Works Aesthetics Division manages and cares for trees and green spaces within the public right-of-way to improve the environment, public health, and the overall quality of life for all city residents. The process encompasses planning, planting, managing, and maintaining trees and green spaces within the urban setting.

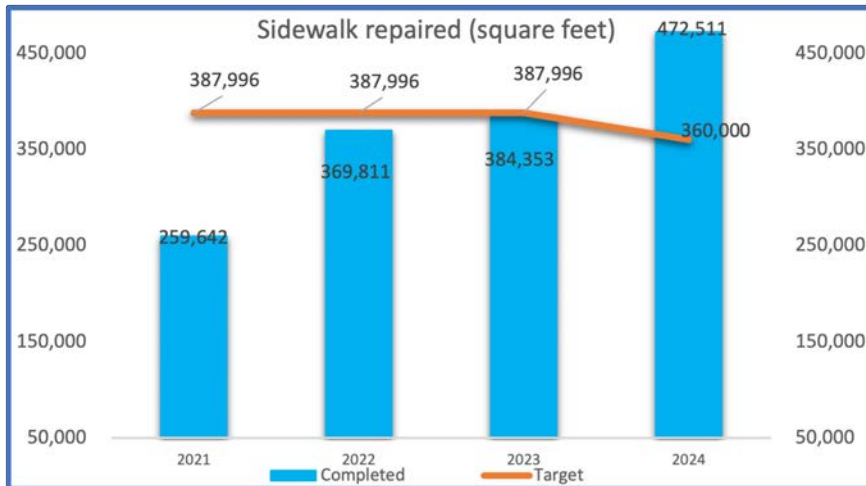
- Tree Planting and Grants:
 - In FY24 planted 1,575 trees
 - Secured a \$2 million grant from the Inflation Reduction Act for urban forestry.



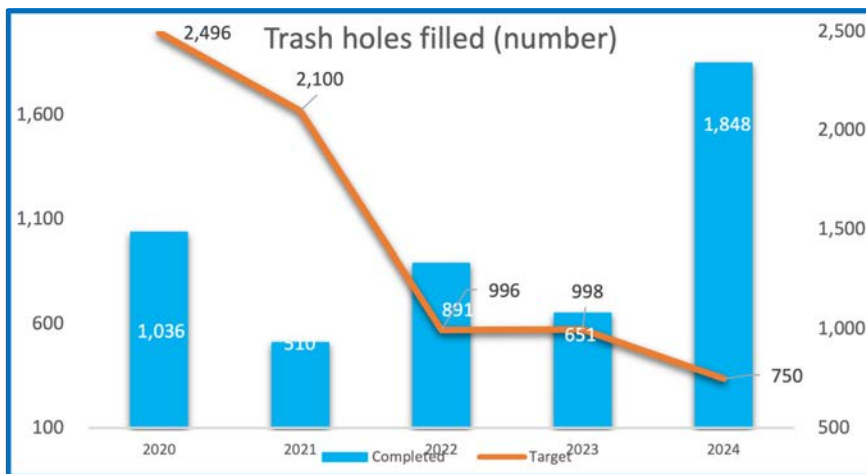
MAINTENANCE OPERATIONS

Receives and addresses complaints about right-of-way issues; verifies illumination coverage; performs repairs of damaged street surfaces, sidewalks, curbs, gutters, swales, and trash holes; performs mowing of street medians, swales fronting City facilities, and traffic control areas; landscapes the ROW; cleans the storm sewer system, and outfalls Citywide; and conducts tree maintenance in ROWs, City-owned or maintained properties, and alleys.

- Sidewalks: repaired or replaced 472,511 square feet of sidewalk, 22.9% higher than the prior fiscal year.



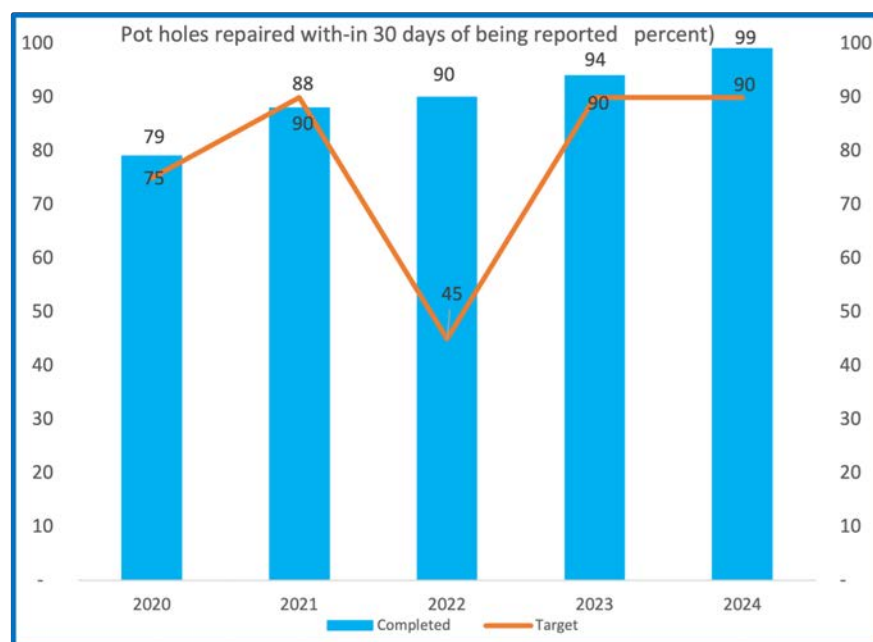
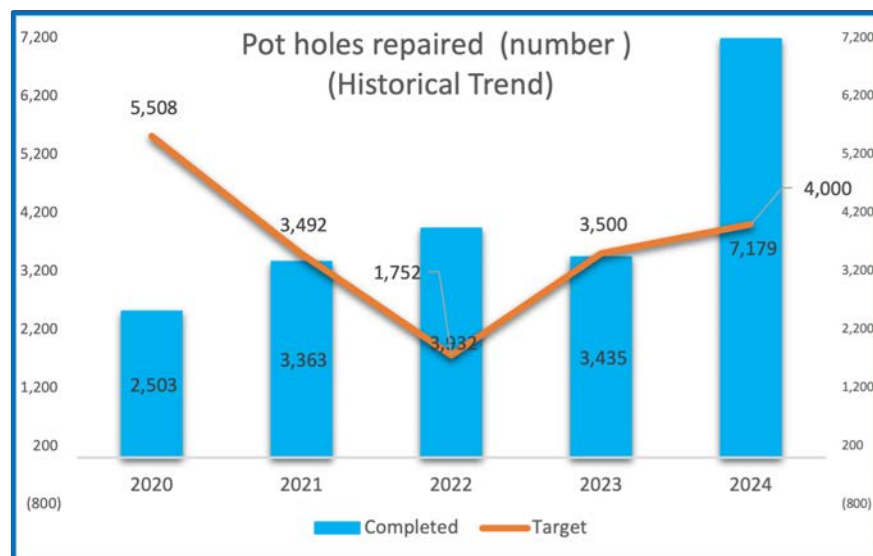
- Trash holes: Back-filled 85% more trash holes than in FY23.



KEY PERFORMANCE INDICATORS

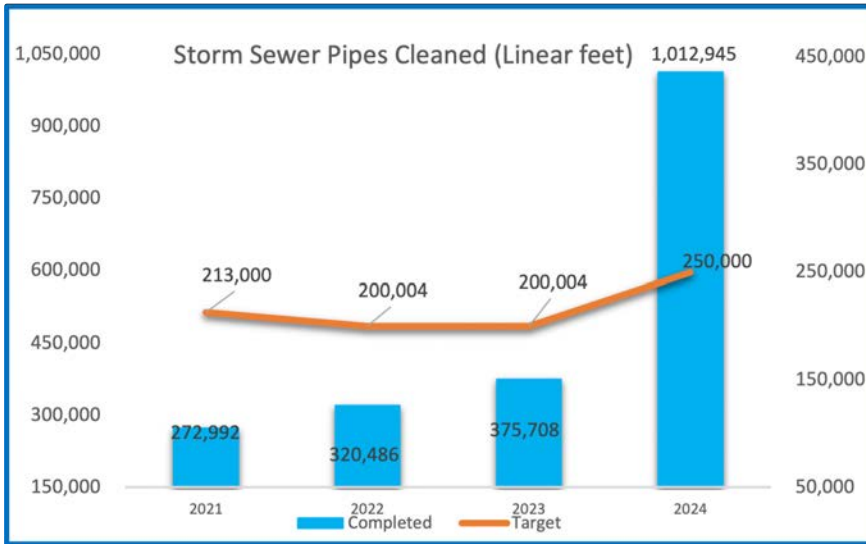
KEY PERFORMANCE INDICATORS

- Potholes: 7,179 potholes were repaired in FY24, twice the amount from the previous year. Equally important, the work was performed 99% within 30 days of being reported.

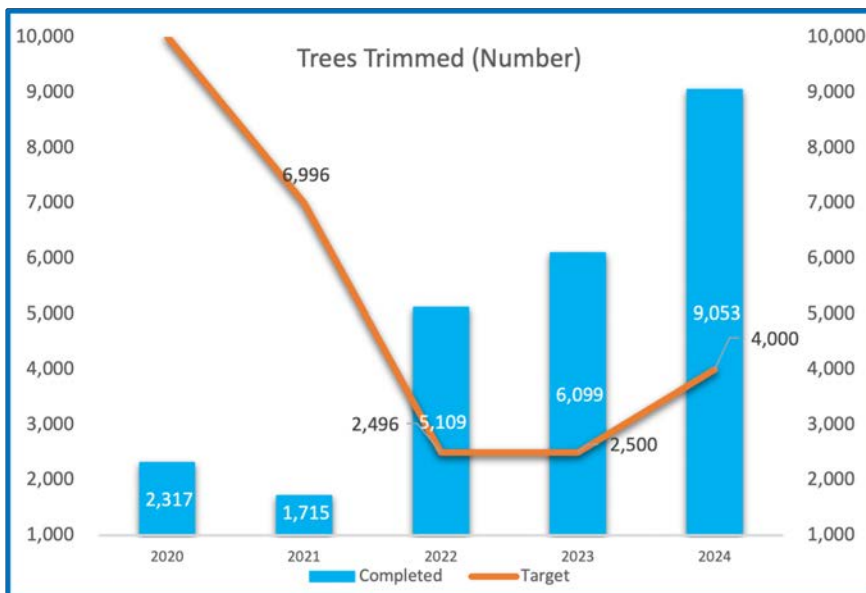


KEY PERFORMANCE INDICATORS

- Storm Sewer: cleaned 1,012,945 linear feet of storm sewer pipes in FY24. Significantly over historical work activities to achieve a citywide reduction to a 2-year cleaning cycle.



- Tree Trimming: achieved a record number 9,053 of trees trimmed. The number of service requests completed exceeded the projected number for FY24.

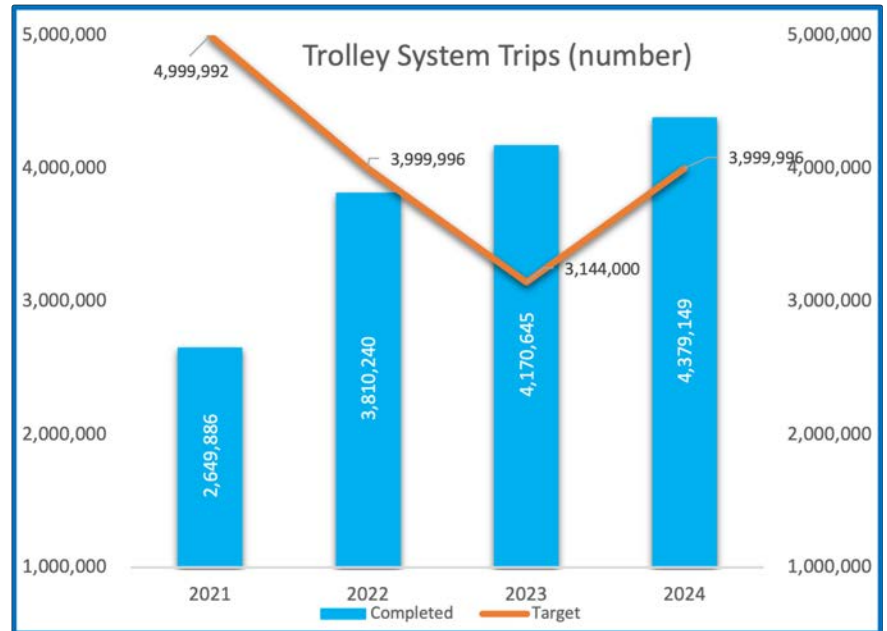


KEY PERFORMANCE INDICATORS

CITY OF MIAMI TROLLEYS

The Department of Resilience and Public Works also focused on providing support for the trolley system between October 1st, 2023, and September 30th, 2024.

The number of trips hit a record high of 4,379,149, which is 5% higher than the prior year.



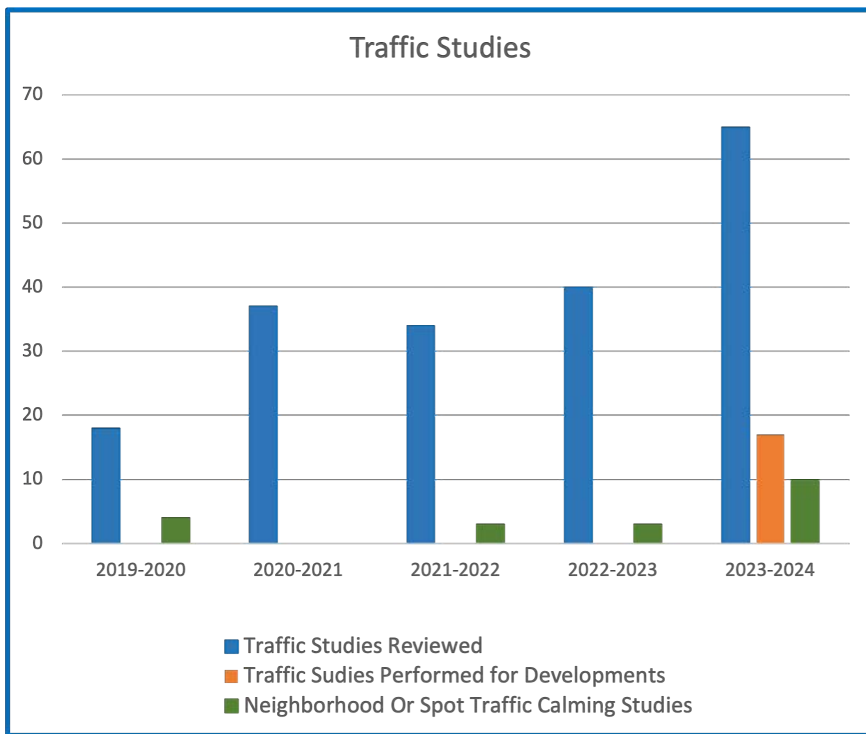
The City of Miami received five new trolleys and a \$1.8 million grant from FDOT to enhance trolley operations.



TRAFFIC STUDIES

Based on a provision of City Code Sec. 62-2.1, the City, through our independent traffic pool of engineers, produces traffic impact studies for large-scale developments at their costs.

Additionally, the city performs traffic studies to determine whether safety improvements, traffic calming, or operational improvements are feasible or recommended for a location. These may be done in large areas such as a neighborhood or individual locations often grouped together.



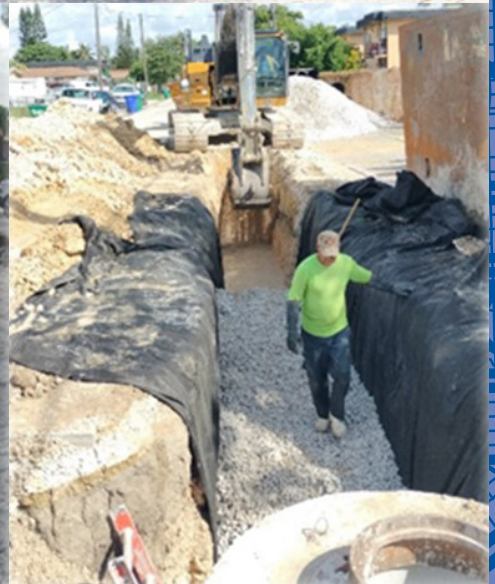
KEY PERFORMANCE INDICATORS



ON-GOING INITIATIVES AND BEST PRACTICES

Department of Resilience and Public On-going Initiatives:

- Continue improving customer service capabilities through enhancements of existing online permitting systems and web-based coordination systems while working toward implementing a new enterprise permitting system that is adaptable, expandable, and GIS-based while being fully integrated into other existing software platforms being used by other City departments.
- Implementation of a comprehensive stormwater pump station Supervisory Control and Data Acquisition (SCADA) system and enhanced compliance with the Municipal Separate Storm Sewer System (MS4) permit to meet National Pollutant Discharge Elimination System (NPDES) responsibilities and reduce the number of areas impacted by chronic flooding.
- Citywide GIS asset management database to manage, track, and report on existing right-of-way and roadway asset conditions and implement a more cohesive approach to capital planning for future right-of-way enhancement programs, permit approvals and tracking, and maintenance operations. This database will improve efficiency by guiding all future maintenance and roadway infrastructure planning and providing a public and internal-only view of all right-of-way permit applications, MOT applications, Special Event applications, and roadway infrastructure projects.
- Citywide Beautification Program to enhance and beautify medians, traffic circles, right-of-way and improve the quality of life for our residents.





RESILIENCE & SUSTAINABILITY



MISSION OF THE OFFICE OF RESILIENCE & SUSTAINABILITY

MISSION AND OBJECTIVES OF THE OFFICE

The Office's mission is responsible for assessing and prioritizing the greatest threats to the City's environmental, social, and economic resilience. Provide guidance on ways to adapt to and mitigate the effects of climate change related to sea level rise, intense storms, and extreme heat to City Departments, City Manager's Office, City Commissioners, and City Mayor.

Key Themes:

- Provide guidance on ways to adapt to and mitigate the effects of climate change related to sea level rise, intense storms, and extreme heat.
- Develop policies to increase environmental, social, and economic resilience.
- Encourage developments that help residents and businesses adapt to changing conditions and include resilience, sustainability, and equity in large projects.
- Make data-driven decisions focused on people.

Objectives:

- Use data to understand the City's environmental, social, and economic vulnerabilities.
- Measure the City's impact on climate change.
- Identify essential metrics and improve data access for City departments and residents.

In summary, the department is committed to a data-driven, people-centered approach to enhance resilience, sustainability, and equity, addressing the City's vulnerabilities and climate impact.

"We are committed to working collaboratively to integrate resilience and sustainability throughout the City to address the effects of climate change related to sea level rise, intense storms, and extreme heat. The City has made many strides this year in implementing actions in the City's Climate Ready, Carbon Neutral, Extreme Heat, and Resilient305 strategies focusing on economic development, flood prevention, and greenhouse gas reduction. The Office of Resilience and Sustainability is looking forward to continued collaboration and engagement to achieve our goals."

Sonia Brubaker
Chief Resilience Officer
& Director of the Office of Resilience and Sustainability



OFFICE OF RESILIENCE & SUSTAINABILITY

ABOUT THE OFFICE OF RESILIENCE & SUSTAINABILITY

The Office convenes key departments monthly to discuss Citywide resilience initiatives and ensure resilience considerations are operationalized across all departments. Here are our FY 23-24 accomplishments:

- Internally, we began a quarterly tracking of the 140 resilience actions included in the City's resilience strategies.
- Externally, we led drafting the annual updates to the Carbon Disclosure Project (CDP), American Council for an Energy Efficient Economy (ACEEE) City Clean Energy Scorecard, and Southeast Florida Regional Climate Change Compact Compact-Assessment Tool (C-CAT).
- In FY 23-24, the city received an A- on the 2023 CDP report and additionally, received distinction of one of the two most improved cities for the 2023 American Council of Energy Efficient Economy (ACEEE) report
- The Office of Resilience and Sustainability relaunched its monthly Resilience Update newsletter to provide residents with a Citywide overview of progress on resilience initiatives.
- The Climate Resilience Committee (CRC) met throughout FY 23-24. The CRC heard presentations and provided feedback on multiple City projects including Morningside Park Resilient Waterfront Design, Jose Marti Park Resilient Redesign, Dinner Key Breakwaters and Resilience Improvements, Miami River Bridge/Hyatt Project, Peacock Park Shoreline Improvements, Legion Park Baywalk and Shoreline Improvements, and two Watson Island redevelopment projects: Watson Harbor and the Ecoresiliency Park.

OFFICE OF
RESILIENCE & SUSTAINABILITY
**LEADERSHIP
TEAM**



SONIA BRUBAKER
Chief Resilience Officer &
Director of the Office of
Resilience and Sustainability



ALISSA FARINA
Assistant Chief
Resilience Officer



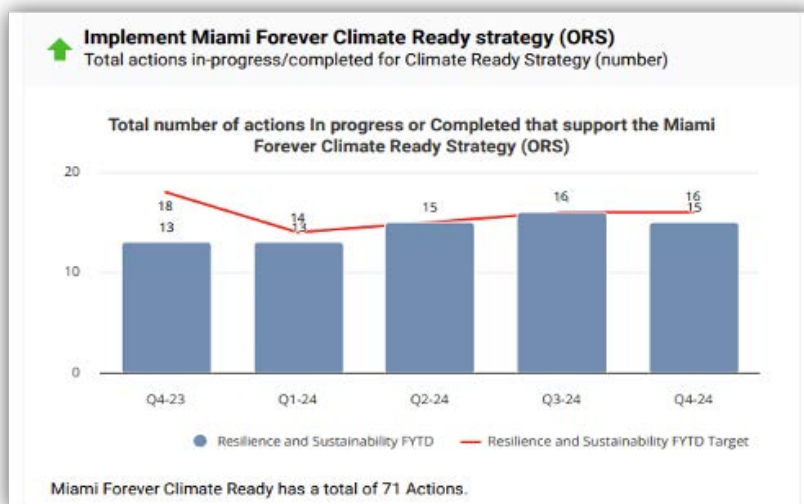
OFFICE OF RESILIENCE & SUSTAINABILITY

ABOUT THE OFFICE OF RESILIENCE & SUSTAINABILITY

- Other critical and notable topics that the CRC discussed included:
 - Climate gentrification
 - The Leave No Trace program
 - The City's Extreme Heat Plan
 - U.S. Army Corps of Engineers Miami-Dade County Back Bay Feasibility Study
 - Updates on current climate science
- CRC passed two items: 2023 Annual Report and a resolution on leaf blowers recommending transition to non-gas-powered leaf blowers for all City landscape maintenance operations and eventually Citywide.

MIAMI FOREVER CLIMATE READY STRATEGY

During Fiscal Year 2023-2024 the city has significant progress hitting some of the goals set after the adoption of the Miami Forever Climate Ready Strategy to prioritize resilience and tackle the increasing challenges posed by climate change. The strategy identifies five goals and 15 objectives to reduce the increasing risks of flood, heat, and storm impacts over the next 40 years, while maximizing social, environmental, and economic co-benefits. The plan incorporates local estimates of 21-40 inches of sea level rise by 2070.



ABOUT THE OFFICE OF RESILIENCE & SUSTAINABILITY

Goal 1: Ensure decisions are data-driven and human centered.

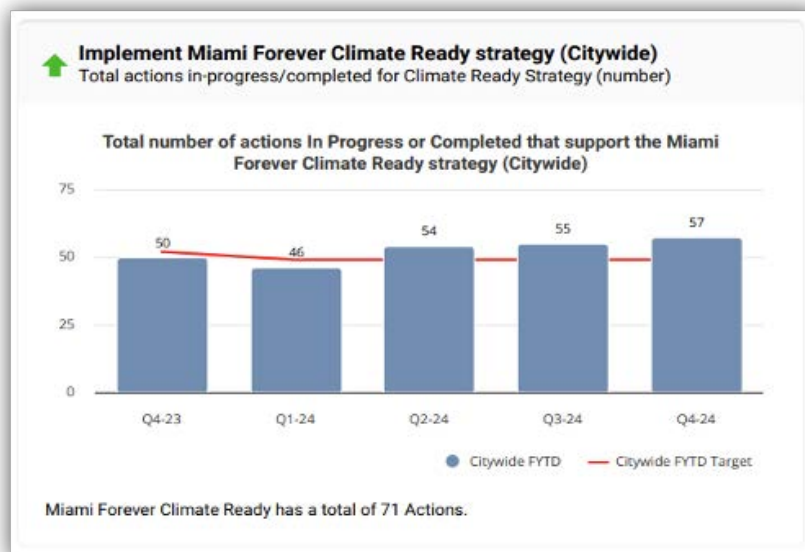
1.1 Enhance understanding of the City's vulnerability to environmental, social, and economic risks with data.

1.2 Quantify the City's impact on climate change.

1.3 Equip City departments and residents by identifying critical metrics and improving access to critical data.

Accomplishments include:

Critical Facilities and Assets Vulnerability Assessment: The City completed its Flooding Vulnerability Assessment as required by the 2021 Florida legislature, defined in Section 380.093, Florida Statute (F.S.).



The Vulnerability Assessment evaluates the potential impact of existing and future flood conditions on the City's physical assets and facilities. It provided insights into the timing, extent, and consequences of flood hazard impacts while also serving as a screening tool to prioritize assets most at risk to be considered for future mitigation projects.

OFFICE OF RESILIENCE & SUSTAINABILITY

OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CLIMATE READY STRATEGY

Greenhouse Gas Emissions Inventory:

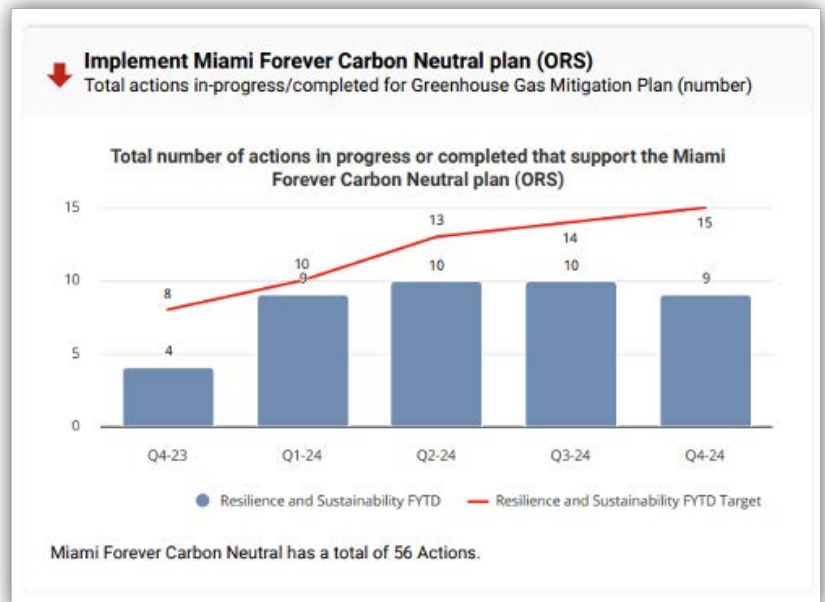
The City conducts Greenhouse Gas (GHG) Emissions Inventories biennially in order to track progress towards its 60% reduction in GHG emissions by 2035 and carbon neutrality by 2050 goals.

The City released its report detailing Citywide and Government Operations emissions for 2019 and 2021 in December 2023. The City is currently finalizing its inventory for 2023.

Miami Forever Climate Ready – Extreme Heat Plan:

The City finalized the City's Extreme Heat Plan over the 2024 Heat Season.

The Office of Resilience and Sustainability incorporated public comments received over a 3-month period and final feedback from internal departments to develop an action plan and response protocol to address chronic extreme heat.



MIAMI FOREVER CLIMATE READY STRATEGY

Goal 2: Inform, prepare, and engage residents and businesses for stresses and shocks.

2.1 Prepare and empower residents and businesses to anticipate and respond to environmental, social, and economic disruptions.

2.2 Create avenues to capture and integrate community feedback into all stages of programming.

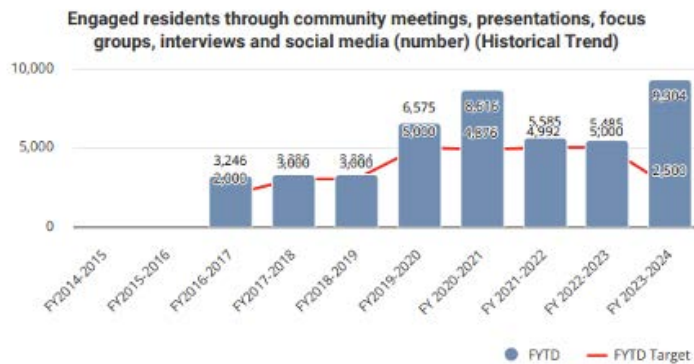
2.3 Improve internal capacity, coordination, and communications.

Accomplishments include:

Community Emergency Response Team (CERT):

In FY 23-24, the Department of Fire-Rescue, Division of Emergency Management facilitated 5 CERT trainings. The city currently has 199 CERT trained volunteers.

Engaged residents through community meetings, presentations, focus groups, interviews and social media (number) (Historical Trend)
Stakeholders engaged through community meetings, presentations, focus groups, interviews and social media (number)



OFFICE OF RESILIENCE & SUSTAINABILITY

OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CLIMATE READY STRATEGY

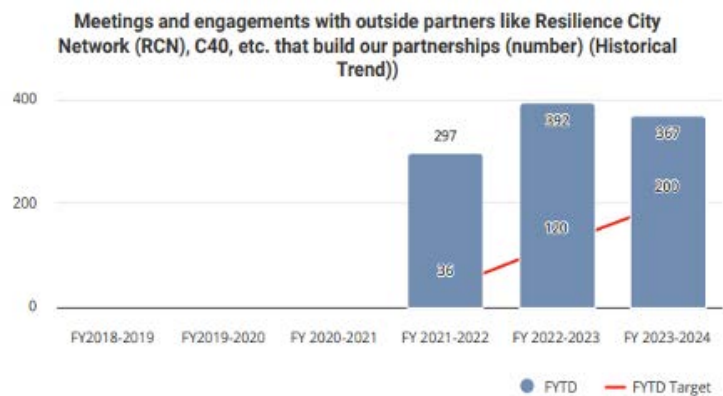
King Tide Coordination:

The Department of Fire-Rescue, Division of Emergency Management continues to convene an interdepartmental King Tide Action Group throughout King Tide season to streamline communications and flood mitigation efforts. The City has started using its SMS text alert system to provide notifications for King Tides.

Heat Alert Notifications:

The Department of Fire-Rescue, Division of Emergency Management continues to utilize its heat alert text service to notify residents when the National Weather Service declares a heat advisory or excessive heat warning. City residents can sign up for heat alerts and other City of Miami emergency updates by texting ALERTMIAMI to 888777. In 2024, there were 3,645 Alert Miami Subscribers and 21,321 Community Subscribers. Fire-Rescue received 183 heat related alarms (emergency calls) from May through September 2024.

Number of meetings and engagements with Resilience City Network (RCN), C40, etc.. that build our partnerships. Meetings/engagements that build partnerships (number)



MIAMI FOREVER CLIMATE READY STRATEGY

Resilience Hubs:

The Office of Resilience and Sustainability continues to serve as grant manager for the CDBG-MIT Critical Facilities Hardening Charles Hadley Park Resilience Hub project and continues to submit monthly and quarterly reports and participates in biweekly check-in calls with Florida Commerce.

The Office of Capital Improvements (OCI) coordinated the installation of a temporary generator at the park prior to Hurricane Milton. The Armbrister Park Resilience Hub is currently at 100% Design and is awaiting full funding to begin construction.

Assisted Living Facilities (ALF) and Nursing Homes:

Since 2021, the Department of Building has been completing yearly inspections of Assisted Living Facilities (AFL) and Nursing Homes, ensuring they comply with Chapter 10-8 of the City Code and Florida Administrative Code 59A-36.025.

This requirement is to ensure that not only there is emergency backup power, but that power is sufficient to cool a space, which all the residents can be in, under 81 degrees for 96 hours. Last year, the City escalated enforcement by bringing all of those out of compliance to the Code Enforcement Board. As a result, the vast majority (90%+) out of compliant ALFs have obtained permits and are current with their yearly submittals. As of 2024, 118 have come into compliance or are under the process of reaching compliance.

Climate Gentrification:

The Department of Housing and Community Development and Office of Capital Improvements implemented the Homeowner Preservation Program to make eligible homes climate ready by providing impact windows and doors and roof replacement to prevent displacement of low-income homeowners.

OFFICE OF RESILIENCE & SUSTAINABILITY



OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CLIMATE READY STRATEGY

Goal 3: Protect and enhance our waterfront.

3.1 Reduce the severity, duration, and impact of coastal and riverine flooding on shorelines and surrounding communities.

3.2 Update and implement waterfront design standards.

3.3 Accelerate investment in features along the waterfront.

Accomplishments include:

U.S. Army Corps of Engineers Miami-Dade County Back Bay Study:

The City submitted formal comments on the U.S. Army Corps of Engineers (USACE) Draft Integrated Feasibility Report/Environmental Assessment for the Miami-Dade County Back Bay Coastal Storm Risk Management (CSRM) Feasibility Study that was released April 23, 2024.

The goal of this Study is to reduce threats to life, property, and the economy for residents, industries, and businesses if a large-scale storm or hurricane hits Miami. Focus areas in the report that are within the City of Miami are the Miami River and Little River.

International Coastal Cleanup Day:

International Coastal Cleanup Day, a worldwide initiative spearheaded by the Ocean Conservancy, engages people to remove trash from beaches and waterways and encourage environmental stewardship. Miami's efforts are spearheaded by the local non-profit Volunteer Cleanup, which partnered with various organizations to organize 29 cleanups within the City on Saturday, September 21. Approximately 1,366 volunteers collected over 12,000 pounds of debris from City of Miami shorelines.

MIAMI FOREVER CLIMATE READY STRATEGY

Leave No Trace:

On March 14, 2024, the Miami City Commission unanimously adopted R-24-0108 implementing the City's "Leave No Trace" policy for City of Miami owned islands, lands, and facilities along Biscayne Bay.

On May 18, 2024, the Department of Parks and Recreation launched the Leave No Trace program and temporarily closed four of the City's spoil islands from Memorial Day Weekend to post-Fourth of July to limit contamination.

This initiative includes enhanced enforcement measures, removal of trash cans, educational outreach, and new signage to ensure visitors minimize their environmental impact while enjoying the Bay's natural beauty.

Nature-Based Solutions:

The City has multiple waterfront projects in progress that integrate nature-based solutions and living shoreline features: Jose Marti Park Adaptive Redesign, Peacock Park Shoreline Improvements, Morningside Park Shoreline Improvements, Margaret Pace Park Master Plan, and Legion Park Baywalk and Shoreline Improvements.

Access to the Bay:

In February 2024 the City completed construction of improvements to the Seminole Boat Ramp and seawall at Kenneth M. Myers Park.

The project involved significant structural upgrades to improve the longevity and stability of the 90 linear foot seawall, a renovated boat ramp, and installation of an ADA-compliant floating dock.

The upgrades were funded by the Florida Inland Navigation District (FIND).

OFFICE OF RESILIENCE & SUSTAINABILITY





OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CLIMATE READY STRATEGY

Goal 4: Invest in resilient and smart public infrastructure.

4.1 Update stormwater management system to meet infrastructure needs through 2060 under varying climate conditions.

4.2 Prioritize projects that protect the most critical and vulnerable areas.

4.3 Upgrade and retrofit existing infrastructure to improve resilience and sustainability.

Accomplishments include:

Stormwater Master Plan:

On March 14, 2024, the Miami City Commission approved a final version of the Stormwater Master Plan which identifies 25 priority flood prevention projects.

The City has secured funding for 12 of these projects via the Miami Forever Bond and grants. Based on recommendations from the Stormwater Master Plan, other sea level rise improvement projects have been incorporated in the Capital plan, including raising seawalls, installation of tidal back-flow valves, installation of pump station telemetry system, and pump station upgrades.

Through the diligent efforts of the Department of Resilience and Public Works, Office of Capital Improvements, and Office of Management and Budget, the Construction Review and Synchronization Process is utilized to prioritize and sequence City Capital projects.

Stormwater Systems Cleaning Report:

The City provides Stormwater Systems Cleaning Reports per Resolution 22-0239 to City Commission, detailing stormwater drains that have been cleaned across City districts.

The City also reports street sweeping activities across the City.

MIAMI FOREVER CLIMATE READY STRATEGY

Nature-Based Infrastructure in Stormwater Projects:

In response to a resolution by the Climate Resilience Committee (CRC) and subsequent Commission Directive, the Office of Resilience and Sustainability met with City departments to determine the best method to integrate green infrastructure guidance into procurement for City capital projects. Drafted a Citywide procurement policy and Bulletin for Resilience and Public Works and circulated for review.

Building Code Enhancement Initiative:

In May 2024 the Miami City Commission adopted Ordinance 15659, establishing the City of Miami's Administrative amendment to the Florida Building Code.

This amendment increases transparency, compliance, and is now a model for other jurisdictions.

This will assist in upgrading the City's Building Code Effectiveness Grading Schedule rating, which lowers insurance rates and increases opportunities for grant awards.

Goal 5: Promote adaptive neighborhoods and buildings.

5.1 Develop policy and regulations to reduce impact of environmental risks and promote sustainability.

5.2 Incentivize development that allows residents and businesses to adapt and thrive under changing environmental, economic, and social conditions.

5.3 Integrate resilience, sustainability, and equity considerations into large development projects

OFFICE OF RESILIENCE & SUSTAINABILITY



OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CLIMATE READY STRATEGY

Evaluation & Appraisal Review:

The Department of Planning completed an Evaluation & Appraisal Review (EAR) of the Miami Comprehensive Neighborhood Plan (MCNP), setting a vision for Miami through 2035.

This is a process that the City conducts every seven years, as required by State Statute. The new MCNP took effect in May 2024.

Freeboard Update:

The Miami City Commission adopted Ordinance 14228 in October 2023 which amended the zoning code to include additional height allowances and freeboard in the T3 transect.

Park Score:

In 2024, the Trust for Public Land gave City of Miami a Park Score Ranking of 36 out of the 100 largest U.S. cities. 89% of Miami residents live within a 10-minute walk of a park. 7% of Miami's land is used for parks and recreation, with 172 parks.

Drainage Recertification Program:

The Miami City Commission adopted Ordinance 14295 in July 2024 amending Chapter 20 of the City Code to establish requirements for a 10-year drainage recertification program and providing standards for development in Special Flood Hazard Areas.

Trees Planted:

The Department of Resilience and Public Works was responsible for planting approximately 1,828 trees Citywide for FY 23-24.

Howden Insurance Fellowship:

Through the Resilient Cities Network, the Office of Resilience and Sustainability worked to research and develop conceptual parametric insurance products for low-moderate income property owners.

MIAMI FOREVER CARBON NEUTRAL STRATEGY

Adopted in November 2021, it is the City's greenhouse gas (GHG) reduction plan and roadmap to achieve carbon neutrality by 2050 in the community, strengthen the local economy, and enhance climate justice. This plan is focused on rapidly decreasing GHG emissions from sources within City of Miami's jurisdiction, aiming to achieve a minimum 60% reduction in emissions from 2018 levels by 2035, and putting the City on a path to get as close to zero emissions as possible.

The plan is based on five overarching goals that support a GREEN Miami and achievement of the City's GHG reduction targets.

During FY 23-24, the City's accomplishments include:

G – GETTING AROUND MIAMI

Objective: 15% shift away from private vehicle trips compared to 2018 levels by 2035.

Electric Ride-Sharing Expansion:

The Miami Parking Authority and the Downtown Development Authority partner with Freebee electric ride-share services to provide complimentary transportation in Miami neighborhoods (Coconut Grove and Downtown). The program has expanded to include on demand rides from Tesla vehicles within defined service areas.

Graham Greenway:

The City of Miami was awarded \$60.35 million from the U.S. Department of Transportation's Reconnecting Communities and Neighborhoods (RCN) Grant Program. The project aims to correct a longstanding injustice by creating a planned public landscape beneath the elevated I-395 highway viaducts. Spanning 33 acres, this urban open space and streetscape will reunite the urban fabric of Overtown, a historically Black neighborhood that was fragmented during highway construction in the 1960s. The project will provide a safe environment for recreational activities such as walking, jogging, and biking promoting non-vehicular transportation options.

OFFICE OF RESILIENCE & SUSTAINABILITY



OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CARBON NEUTRAL STRATEGY

EV Task Force:

To facilitate Citywide collaboration and consensus for both public and private electric vehicle (EV) initiatives, ORS launched an internal EV Task Force team that meets bimonthly to discuss policy, data needs, and grants.

E – ENERGY EFFICIENCY

Objective: Improve energy efficiency in buildings to decrease overall energy consumption and support achievement of Goal 2: Renewable Energy

BE305:

As of October 1, 2024, all buildings 50,000 sq ft and above are required to submit energy and water benchmarking reports as part of the Building Efficiency 305 (BE305) program. In June 2024, buildings 100,000 sq ft and above were required to benchmark for the second year in a row. The Department of Building and Department of Code Compliance developed an enforcement process to ensure greater compliance with the ordinance.

MIAMI FOREVER CARBON NEUTRAL STRATEGY

Energy Efficient City Buildings:

In June, two City of Miami facilities were recognized as part of Miami-Dade County's Building Efficiency 305 (BE305) Challenge: Charles Hadley Park, awarded for being one of the top 3 facilities that reduced the most energy for the BE305 Challenge in 2023, and Bryan Park, awarded for being one of the top 3 facilities that reduced the most water for the BE305 Challenge in 2023.

The City is currently in the final stages of benchmarking all its facilities, with over 80 City-owned buildings expected to be completed by the end of 2024.

Energy Star Certification:

In 2024, the Miami-Fort Lauderdale-West Palm Beach metro area ranked #22 on the EPA's list of U.S. metropolitan areas with the most ENERGY STAR certified buildings, with 102 certified buildings, up from 94 in 2023. This achievement highlights the region's commitment to energy efficiency and sustainable practices through the BE305 Program.

LEED Certified Administrative Building:

As the City designs its new administrative building at Miami Freedom Park, the City will be pursuing LEED Gold certification for the facility.

Green Roofs:

The Miami City Commission adopted Ordinance 14242 in December 2023 which clarified "green roof" definitions, introducing an "intermediate level" definition, and clarifying configuration standards. This simplifies permitting and installation of intensive and extensive green roofs.

OFFICE OF RESILIENCE & SUSTAINABILITY



OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CARBON NEUTRAL STRATEGY

R – RENEWABLE ENERGY

Objective: 100% carbon-free electricity by 2035

Objective: 35% reduction in natural gas emissions compared to 2018 levels by 2035

Solar Permits:

The Department of Building issued 153 solar permits in FY 23-24. Staff also made process improvements ensuring that solar permits are expedited and issued within three days, and that permit fee waivers are more streamlined.

SolarTogether:

The City began participating in the FPL Solar Together program in 2024, thus sourcing 45% of the City's electricity use from utility solar. Participation in this program addresses the City's greenhouse gas emissions, reducing government operations emissions by at least 21%.

SolSmart:

The Office of Resilience and Sustainability coordinated a SolSmart training for 33 permitting and inspector staff to improve internal knowledge about modern solar technologies and nationwide best practices in permitting and installing solar photovoltaic systems.

The City is currently working on SolSmart certification from the U.S. Department of Energy.

MIAMI FOREVER CARBON NEUTRAL STRATEGY

E – ELECTRIC VEHICLES

Objective: 40% of registered passenger vehicles are electric by 2035

EV Task Force:

As a result of the Task Force's efforts, the City applied for the 2024 cycle of the U.S. Department of Transportation Charging and Fuel Infrastructure Grant and developed Part 1 of a Public Charging EV Roadmap to inform the implementation of future projects on public and private land.

EV Fleet Expansion:

The City submitted a proposal to the U.S. Department of Energy to utilize its Energy Efficiency and Conservation Block Grant (EECBG) formula funding to pilot electric vehicles for the City fleet. The resolution accepting the grant funds was approved at City Commission, R-24-0242, and the proposal was approved.

FPL EVolution:

The City is partnering with Florida Power and Light (FPL) on their EVolution program to install DC Fast (Level 3) electric vehicle chargers at City parks and properties. In 2024, the contract negotiations with FPL were finalized, and an additional park site was added to ensure equity among Commission Districts. Capital infrastructure for this project is valued at more than \$3.5 million.

OFFICE OF RESILIENCE & SUSTAINABILITY



OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CARBON NEUTRAL STRATEGY

N – NEW ECONOMY

Objective: Grow the Green Economy Ecosystem

Objective: Recruit and Retain Green Workforce

Objective: Open Occupational Pathways

Objective: Welcome and Support Green Industry

Climate Resilience Tech Hub:

The U.S. Department of Commerce’s Economic Development Administration (EDA) designated Miami-Dade County as a tech hub and awarded \$19.5 million to the South Florida Climate Ready Tech Hub.

The investment aims to accelerate regional technology and innovation-led growth by enhancing the capacity to manufacture, commercialize, and deploy key climate technologies. The Climate Ready Tech Hub will focus on climate adaptation and mitigation technologies, including clean concrete, coastal defense systems, and next-generation HVAC solutions.

This initiative is projected to create 23,000 high-paying jobs over the next five years and generate \$41 billion in revenue, establishing South Florida as a global hub for sustainable and resilient infrastructure. The City of Miami was a member of the establishing cohort.

Workforce Development:

Throughout the year, the Office of Resilience and Sustainability supported the professional development of City employees in a number of environmental related disciplines including Waterfront Edge Design Guidelines (WEDG), LEED Green Associate, SolSmart, and Living Shorelines for Marine Contractors training.

MIAMI FOREVER CARBON NEUTRAL STRATEGY

Additional Enabling Actions

Objective: Advocate and Educate

Objective: Integrate Climate into Governance

Objective: Reduce Solid Waste

Annual Tree Giveaways:

Annually, the Department of Building hosts fruit tree giveaways for City residents in April in honor of Earth Month and Arbor Day. In April 2024, the City distributed over 500 fruit trees and shrubs to City of Miami residents at five tree giveaways.

Annual Earth Day Celebration:

The Office of Resilience and Sustainability hosted and coordinated the City's annual Earth Day Celebration at Miami Riverside Center featuring Miami River Boat Rides provided by the Department of Fire-Rescue, healthy food vendors, Tesla test drives, and educational tabling from City departments and local non-profits on their resilience-aligned programming and projects.

E-Waste Recycling:

This fiscal year, the Department of Solid Waste held three e-waste recycling drives at Regatta Park. In total, the City collected over 9,000lbs of obsolete electronics and over 600lbs of lamps and batteries.

WE-LAB Workshops:

The Office of Resilience and Sustainability partnered with Dream in Green to host five Water and Energy Learning and Behavior (WE-LAB) workshops, one in each district, reaching over 150 participants.

The goal of the workshops is to educate participants on how to track their water and energy use at home and apply these new learned behaviors to reduce utility costs, greenhouse gas emissions, and overall negative impact on the environment.

OFFICE OF RESILIENCE & SUSTAINABILITY



OFFICE OF RESILIENCE & SUSTAINABILITY

MIAMI FOREVER CARBON NEUTRAL STRATEGY

“Ready, Set, Grow!”:

The Department of Human Services launched the “Ready, Set, Grow!” program in April 2023, a transformative educational garden program that focuses on fostering environmental awareness, improving access to fresh produce, and promoting nutritional values, at three of the City’s Child Learning Centers. This year they launched the “Happy Seeds Project” as an addition to the garden program featuring a diverse selection of seeds encouraging families to start their gardening journey. Over 424 seeds of herbs, vegetables, and flowers have been planted, 91 plants successfully transplanted, and garden spaces now feature over 20 species of vegetables and herbs.

Marjory Stoneman Douglas Monument:

In partnership with the Hulu “Made by Her” project, the City installed a monument for Marjory Stoneman Douglas in Peacock Park in recognition of work as a trailblazing environmentalist and City of Miami resident.

Southeast Florida Regional Climate Leadership Summit:


The Office of Resilience and Sustainability worked with Miami-Dade County to identify speakers and topics for sessions at the Climate Leadership Summit, the annual conference hosted by the Southeast Florida Regional Climate Compact.

These sessions included the Climate Gentrification session, Energy Efficiency session, and Community Engagement session. The City of Miami’s Chief Resilience Officer also presented at the Community Engagement session.



A stylized map of a city grid is shown in the background. The map features a network of streets and various colored zones: a large yellow area on the left, a green area on the right, and several blue and orange patches. A large, bold, white text 'ZONING' is overlaid on the map, positioned in the lower-left quadrant. A white vertical line runs down the left side of the map, and a white horizontal line runs across the middle of the map.

ZONING



MISSION OF THE OFFICE OF ZONING

MISSION AND OBJECTIVES OF THE AREA

The Office of Zoning is dedicated to fostering a regulated pattern of development as set forth in the City Code and Miami 21 (1), while providing a safe and healthy environment for living, working, and recreation. While encouraging sustainable and equitable development through effective land use planning and regulation, we aim to balance community needs with growth objectives by ensuring transparent processes, promoting community engagement, and safeguarding environmental integrity. Our mission is to enhance the quality of life for all residents by facilitating orderly development while preserving the unique character of our neighborhoods.

ABOUT THE OFFICE OF ZONING

The Office of Zoning is responsible for enforcing local zoning laws, primarily the Miami21 Zoning Ordinance.

The office reviews plans for various land use activities, including construction, alterations, and business operations. The office actively engages with applicants, providing guidance and suggesting alternatives to help them achieve compliance. They review permit applications for temporary uses, waivers, and other special requests, offering support throughout the approval process.

QUALITY OF LIFE:

- Administering temporary uses through various permits
- Issuing essential documents like zoning verifications, alcohol reservation letters, and waiver extensions
- Processing state extensions, AHCA forms, and alcohol and tobacco applications
- Creating and assigning addresses
- Calculating impact fees and processing title and covenant documents
- Assisting in code enforcement

The office of Zoning performs construction reviews for residential, commercial, lodging, industrial, civic, educational and office.

ZONING'S WORK IMPACTS A WIDE RANGE OF STAKEHOLDERS, INCLUDING:

- City residents
- Elected officials
- Business and development communities
- City departments
- Governmental agencies

In addition, the office of Zoning also prepares and provides testimony for hearings, including Planning, Zoning and Appeals Board (PZAB), City Commission and the Circuit Court. In addition, the Office conducts field inspections when called upon as well as address complaints.

The Office staff performs permit application reviews for Temporary Uses, Waivers, Dry Runs, Warrants Exceptions, Special Area Plans. The reviews are performed and returned with an alternative to allow the applicants to request and convene meetings in pursuance of offering guidance to assist in making changes that conform to the codes.

“We are dedicated to fostering a thriving community through transparent, efficient, and innovative zoning practices. By streamlining processes for building permits, special permits, and licensing, we ensure informed decisions that balance growth with sustainability. We are committed to a future where planning and zoning prioritize people, creating vibrant and resilient neighborhoods for all.”

Tamara Allen Frost
Zoning Director

ZONING
**LEADERSHIP
TEAM**



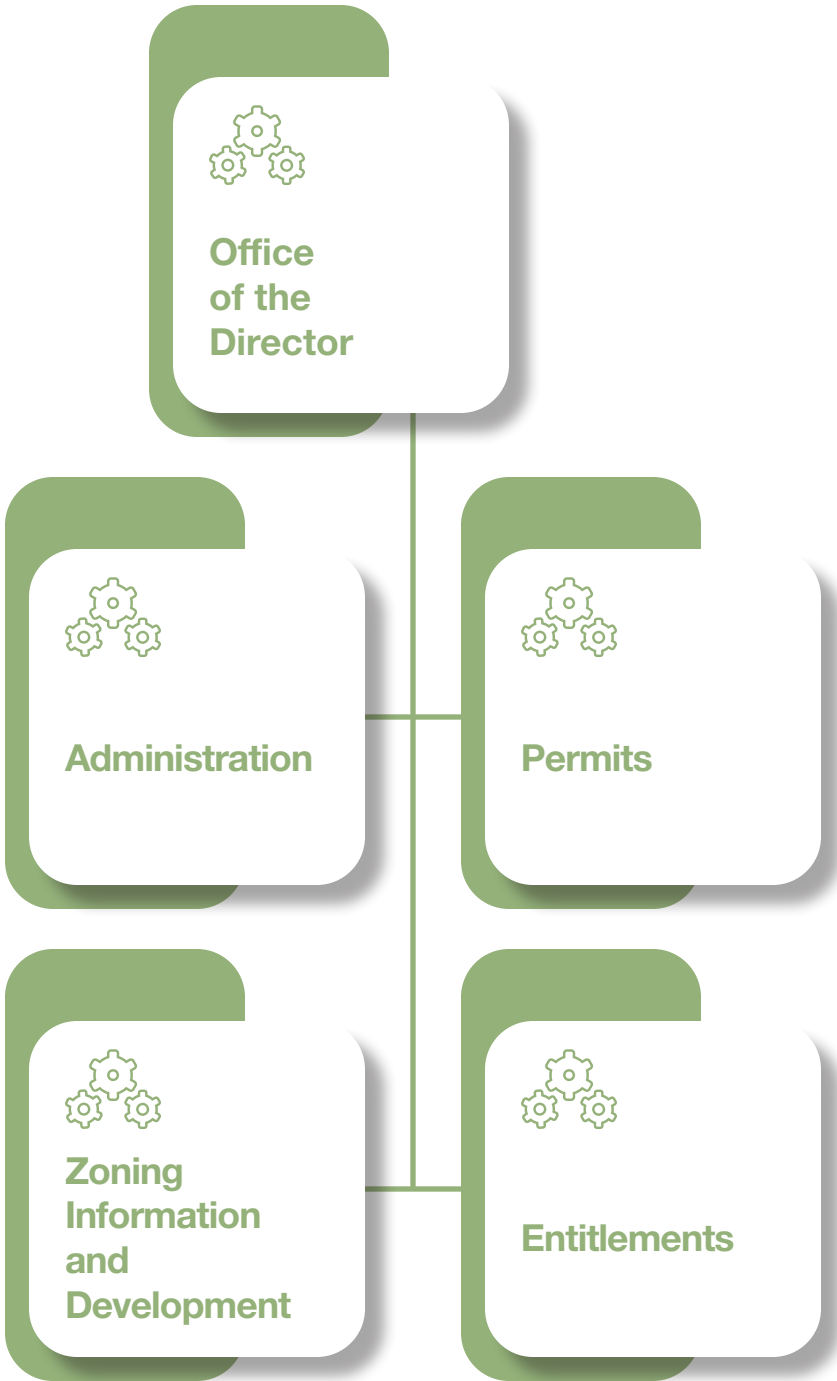
TAMARA FROST
Director of Zoning



JACOB KEIRN,
Assistant Director



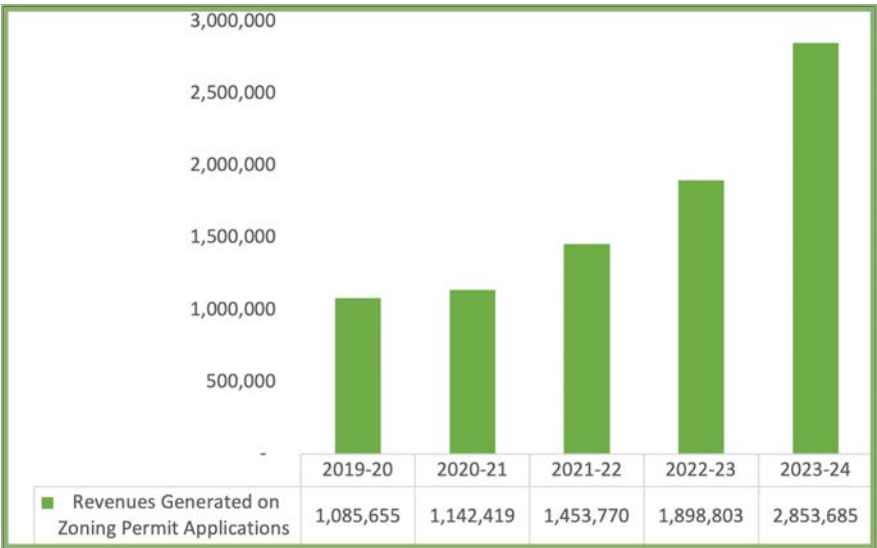
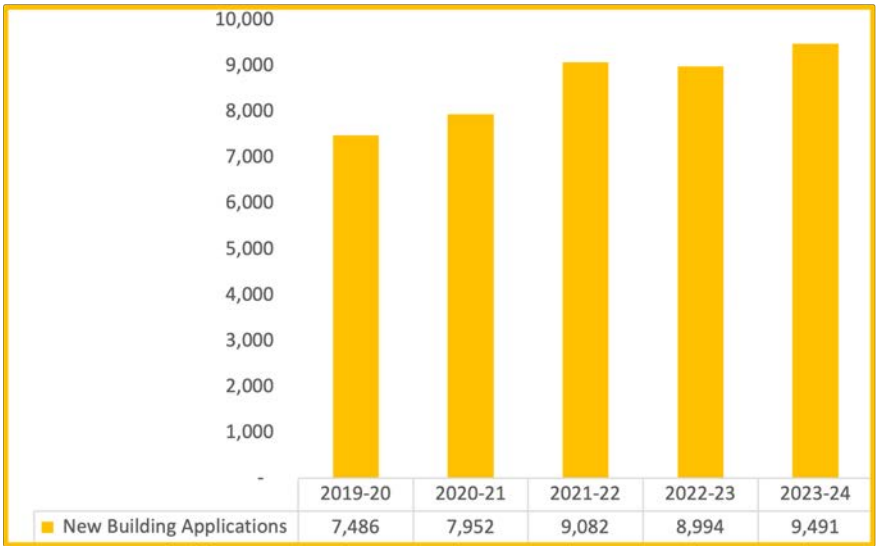
PAUL BROWN
Assistant Director



NEW BUILDING PERMIT APPLICATIONS

The department continued to participate in the enhancement of eStart web application system to process Certificates of Use applications and allow interactions with additional system platforms.

During the fiscal Year 2023-2024, the department received 9,491 New Building Permit Applications and generated revenues of \$2.9 Millions of Dollars +50.3% higher than previous year.



A consistency of perennial improvements during the past five (5) fiscal years, including during the heights of COVID 19. This is a true testament to our City as one of the most attractive places to invest.

KEY PERFORMANCE INDICATORS



KEY PERFORMANCE INDICATORS

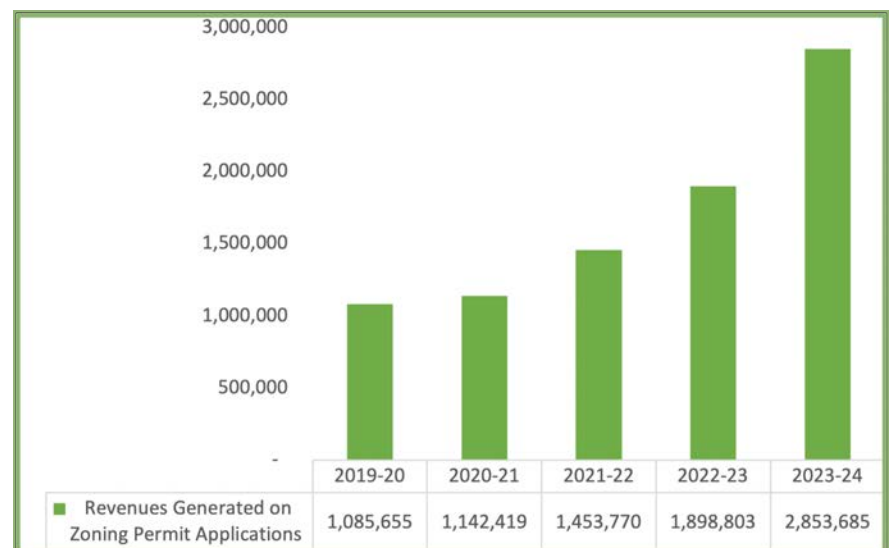
SPECIAL PERMITS APPLICATIONS SUBMITTED (ZONING)

Applications for building permits are preceded by the special permit program. The Special Permit is a process that is a precursor to the building permit applications. The Special Permit program creates an avenue for permit applications that deviate from the by-right provisions of the code. It involves a complete zoning review as well as sufficient mail out notification to adjacent property owners.

The Special Permit process results are posted on the City's website upon final decision, and its process has an appeal provision within a given time period for any aggrieved party. The Special Permit applications show an upward trend for the first three (3) fiscal years and downward for the final two (2) fiscal years. This downward trend for the final two (2) fiscal years is attributed to modifications made to the code that eliminated Waiver previously required.

During the fiscal year of 2023-24, the Office completed 320 special permits and generated \$968 thousand Dollars in revenue fees.

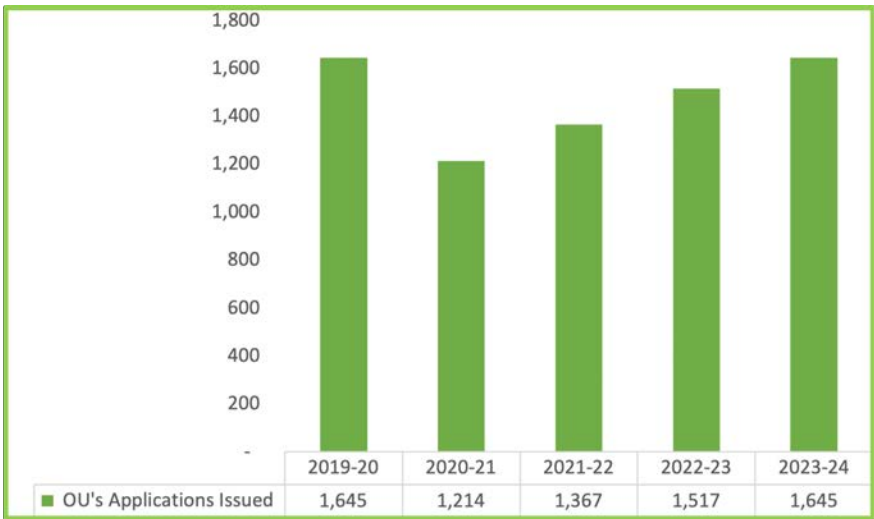
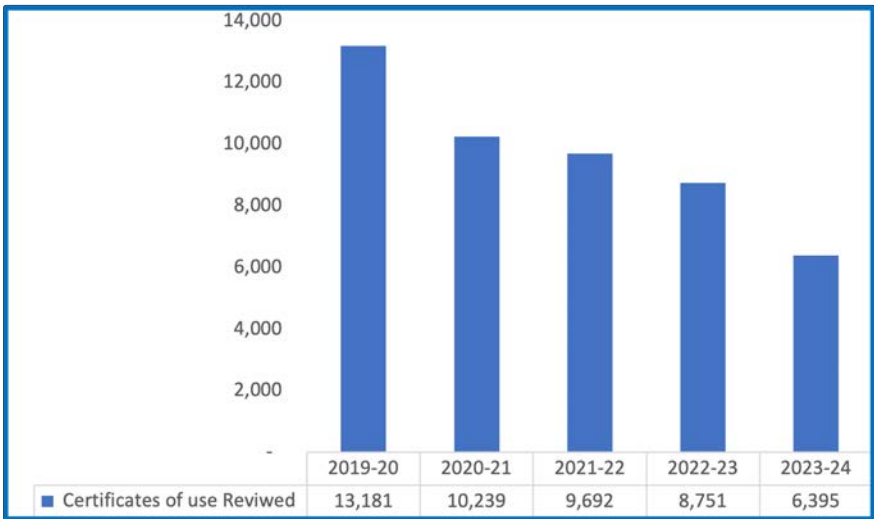
The department is looking to simplify the approval process and identify synergies and eliminate redundant inspections for certificate of occupancy (COs) and certificate of completion (CCs).



CERTIFICATES OF USE APPLICATIONS (CUS)

The Office reviewed Certificates of Use (CUs) throughout a very rigorous process including necessary inspections to secure compliance of codes to subsequently issue Certificates of Occupancy (CO) and Certificates of Completions (CC) documents.

During Fiscal Year 2023-2024, the Zoning department reviewed 6,395 applications of Certificates of Use out which 1,645 were approved.



The department is looking to simplify the approval process and identify synergies and eliminate redundant inspections for certificate of occupancy (COs) and certificate of completion (CCs).

KEY PERFORMANCE INDICATORS



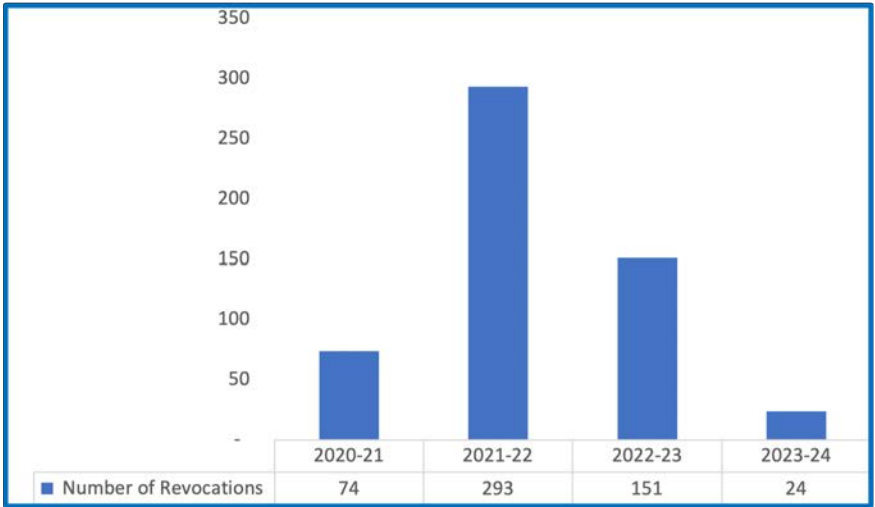
KEY PERFORMANCE INDICATORS

REVOKING CERTIFICATES OF USE

The area also continues to collaborate with required reviewing departments to establish a Temporary Permit Task Force to regulate and monitor existing applications.

The Office of Zoning is Revoking Certificates of Use (CUs) for properties with unsafe structure violations. This action is in response to the Surfside building collapse and the City of Miami's strengthened safety regulations. Once a CU is revoked, it cannot be reactivated.

To obtain a new CU, property owners must demonstrate compliance with safety regulations, verified by the Unsafe Structure division.



KEY PERFORMANCE INDICATORS

-



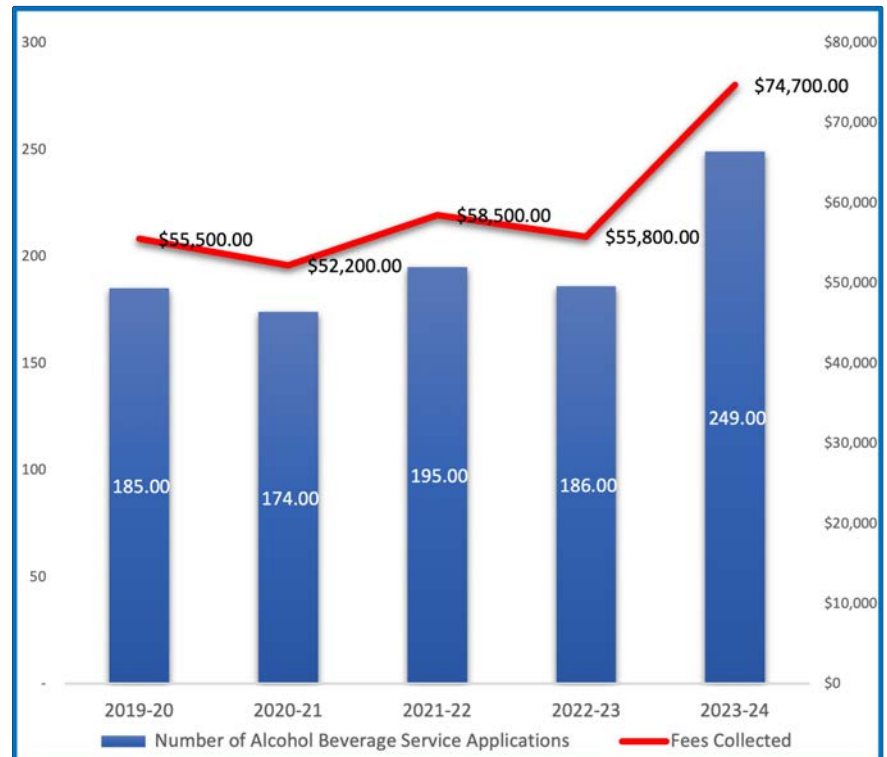
KEY PERFORMANCE INDICATORS

ALCOHOL BEVERAGE APPLICATIONS

The Office of Zoning processes Alcohol Beverage license applications for establishments such as restaurants, nightclubs, supermarkets, and temporary events that wish to sell or serve alcohol.

This application takes from a minimum of one (1) to five (5) business days to process.

During fiscal year 2023-2024, the city authorized a record high of 249 permits of Alcohol Beverage applications and collected revenues of associated fees of \$74,700.00 (Seventy-four thousand and seven hundred dollars).



KEY PERFORMANCE INDICATORS



KEY PERFORMANCE INDICATORS

The Florida Legislature gave the Affordable Housing Program a boost by passing the SB-102, Live Local Act. This Act marks a series of incentives available for development in affordable housing. Considering the unaffordability of homes in the State of Florida, the SB-102 will go a long way to providing additional affordable housing in the State of Florida, thus increasing our stock of housing and subsequently decreasing the cost of housing.

The Office approved 471 affordable housing projects for 2022 and 1,244 affordable housing projects for 2023, which is a significant increase of approximately 38% from one period to another.

DEPARTMENT OF ZONING ON-GOING INITIATIVES:

The department will continue to work on The potential Administrative Site Review (ASPR) legislation which may permit applicants to submit design drawings and receive a real approval valid for a certain number of years. Projects anticipated to be by-right are required to proceed to building permit where expensive mechanical, electrical, and plumbing (MEP) drawings become necessary.

Corrections at the building permit may result in becoming very costly as all sheets must coordinate. The Office, has, as a matter of policy, the dry run report. However, it is not an entitlement and cannot be relied upon completely.

The potential ASPR may codify that a project that obtains an ASPR for an Exception, Warrant, Waiver, or Variance approval will at building permit review limit reviews to a compare and contrast concept except for any components that change.

The Office, at that point, cannot further require corrections at building permit except as to height, intensity/floor lot ratio, uses, setbacks, density, public works-related issues, and life-safety issues. This will reduce the review time as a building permit, with an approved ASPR or special permit will be less intense and a much simpler to compare/contrast.

The idea is to improve the process and make it more certain. The biggest game changer is the creation of the ASPR process so that you can know for certain you can build a certain project before undertaking more expenditure. Miami 21 almost always triggered a Waiver (or more). Therefore, this would be beneficial since the Office adopted Waiver reform and additional projects continue to proceed by right.

ON-GOING INITIATIVES AND BEST PRACTICES





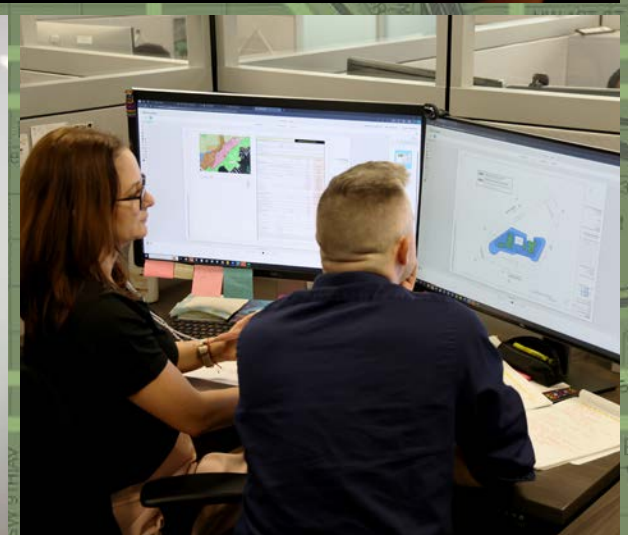
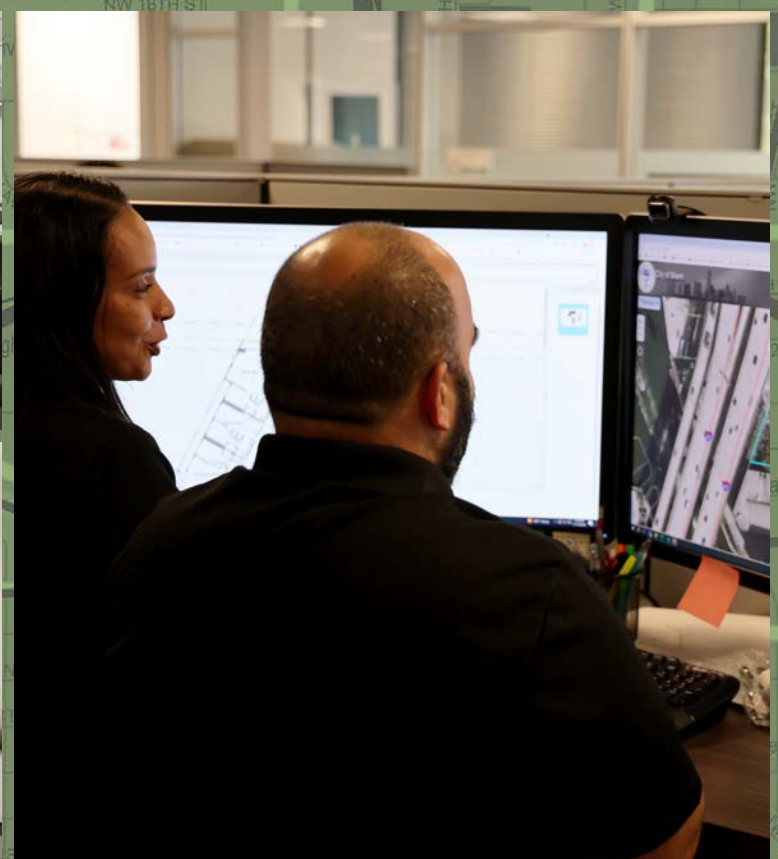
ON GOING INITIATIVES AND BEST PRACTICES

DEPARTMENT OF ZONING ON-GOING INITIATIVES:

NEWSLETTER ENHANCEMENT

The Office of Zoning has an interactive website that specifies the services offered to customers. The website allows customers to access the programs necessary to initiate an application. The Office, nonetheless, continues to formulate plans to restructure the way it serves customers during its day-to-day activity.

We are continuing our process in creating procedures on how we monitor plans and the timeliness of review. By what means we improve our response to requests for meetings, Certificates of Use, Zoning Verification Letters, Alcohol Service Establishment reservation letters, as well as specialty retail establishments reservation Letters, Alcohol Service Establishment signoffs, among others is an ongoing exercise. Checklists for covenants and special permits are available to the public for guidance and direction. The site is updated on an as needed basis to reflect the current trends.





CITY OF MIAMI INFRASTRUCTURE GROUP

*Miami Riverside Center
444 SW 2nd Avenue, 4th Floor,
Miami, FL 33130*

www.miamigov.com

Francis X. Suarez - Mayor

Miguel Angel Gabela - Commissioner, District One

Damián Pardo - Commissioner, District Two

Joe Carollo - Commissioner, District Three

Manolo Reyes - Commissioner, District Four

Christine King - Commissioner, District Five

Arthur Noriega V - City Manager

Todd B. Hannon - City Clerk

George Wysong III - City Attorney

Natasha Colebrook-Williams - Deputy City Manager

Larry M. Spring Jr. - Assistant City Manager / Chief Financial Officer

Barbara Hernandez - Assistant City Manager / Chief of Operations

Asael Marrero - Assistant City Manager / Chief Infrastructure Officer

Eduardo Santa Maria - Building Director

Jose Perez - Capital Improvements Director

David Snow - Planning Director

Juvenal Santana - Public Works Director

Sonia Brubaker - Chief Resilience Officer & Director of the Office of Resilience and Sustainability

Tamara Frost - Zoning Director

ACKNOWLEDGMENTS

We would like to express our sincere gratitude to the individuals who contributed to the preparation and completion of this report.

Their dedication and expertise were invaluable in bringing this project to fruition.

Alissa Farina, Anna Medina, Erica Lee, Maria Cabrera, Paul Brown,
Sandra Patricia Poca Sangre, Sebastian Daza Lizarazo, Sevanne
Steiner, Sheiza Revuelta, Tracy Rawlins, Diana Giorgetti, Jeffrey Sauers

Román Beltrán - Content Manager Building Department
Andrés Rosa - Reporting and Finance Senior Advisor



CITY OF MIAMI
INFRASTRUCTURE
GROUP
Annual Report
2023-2024 FISCAL YEAR