MORNINGSIDE PARK

PROPOSED PARK IMPROVEMENTS AND FUNDING REQUIREMENTS

Aquatic Pool Complex
Park Master Plan
Shoreline and Baywalk Improvements
Park Drainage Improvements
Neighborhood Drainage Improvements




History

- ***June 13, 1953*** – Morningside Park was opened to the public. (Park is almost 69 years old)
- ***1994 -***Morningside Park Community Center was built.
- ***2010*** - Some minor renovations to community center, AC, Hurricane Impact windows, and new flooring.
- ***2016 -*** The Aquatic Pool Complex was closed to the Public.
- ***2018*** – Tennis Court Renovations occurred
- ***August 21, 2019*** – Community reached consensus on General Plan after many community meeting beginning in 2017
- ***January 23, 2020*** - Resolution R-20-0009 adopted to develop plan to keep pool in current location.
- ***November 29, 2021*** – Community Meeting to provide information after much research in 2020 and 2021

Morningside's greatest challenge is that the Park is UNUSABLE after severe storm events and King Tide due to long periods of flooding conditions.

MORNINGSIDE PARK TODAY

COMMUNITY INPUT ON PARK NEEDS AND INTERESTS

Reoccurring comments in the last 3 years

Sustainability & Maintenance

- Stop flooding and improve drainage
- Improve park's overall maintenance
- Enhance natural elements for education and resiliency
- Add more trees
- Keep/maintain views to bay
- Reduce asphalt, but maintain parking numbers

Park Amenities & Character

- Keep park character, but replace and repair as needed
- Build a pool
- Fix/improve existing restrooms
- Remove wood bollards
- Provide small dog park/run
- Focus on waterfront uses
- Add one more basketball court

Circulation / Access Parking

- Reduce asphalt in park, but keep number of parking spaces
- Connect north and south ends of park for pedestrians better
- Establish walking loops and a path hierarchy
- Keep perimeter fencing
- Keep Morningside Drive as internal loop road
- Improve crosswalks and connections to neighborhood

IMPROVEMENT GOALS

- ***To Develop*** an inclusive design for Morningside Park which includes, natural resources, resiliency, multi-purpose, multi-generational, multi-seasonal and address community needs while simultaneously keeping most of the integrity of the park's initial design.

- ***Create*** a long-term plan that will assist with operational cost and creates flexible spaces.

- ***Provide*** projected timeframes and cost.

MORNINGSIDE PARK

Alternative General Plan

Legend

1. Community Center
2. Paved Parking *(+/- 180 Spaces)*
3. Pedestrian Entrance
4. Vehicular Roadway
5. Natural Playground
6. Multi-purpose Field
7. Open Green Space
8. Tennis Courts
9. Basketball Courts
10. Maintenance Area
11. Internal Paths
12. Perimeter Path
13. Proposed Boardwalk
14. Overgrown Mangrove in Existing Pond
15. Shaded Picnic Areas with Tables
16. Restroom
17. Relocated Palmatum along Baywalk
18. Proposed Dog Park
19. Volleyball Court
20. Pool Complex
21. Improved Dock
22. Existing Boat Launch Ramp
23. Boat Trailer Parking / Pervious Turf *(+/- 13 Spaces)*
24. Proposed Living Shoreline
25. Pervious Parking *(+/- 5 Spaces)*
26. Crosswalk / Traffic Calming
27. Existing Boat House
28. Concession for Kayak Rental
29. Canoe/ Kayak Launch Area
30. Softball Field
31. Mini Soccer Fields
32. Picnic Shelters

Existing Shade Trees

Existing Palm Trees

Proposed Shade Trees

Picnic Tables and Benches

Picnic Shelter

Park Boundary

Stormwater Drainage Pattern

FEMA Flood Hazard Zones

MORNINGSIDE PARK

Alternative General Plan

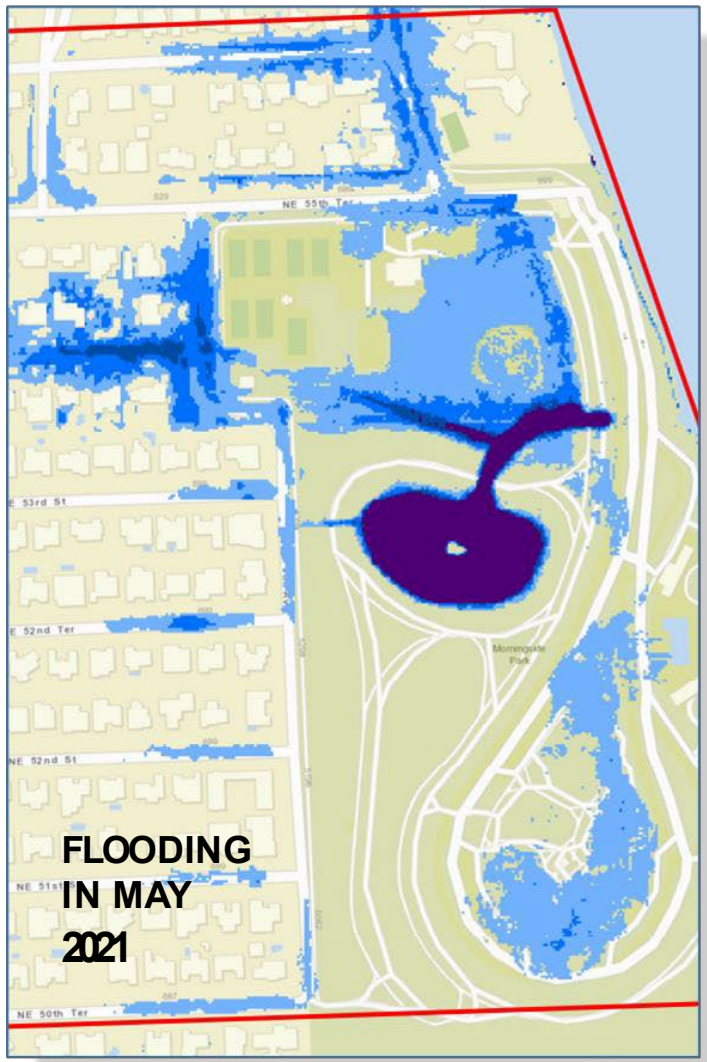
LEGEND

- PICNIC TABLE
- PAVILION
- RESTROOM
- TREES
- TRAILWAY

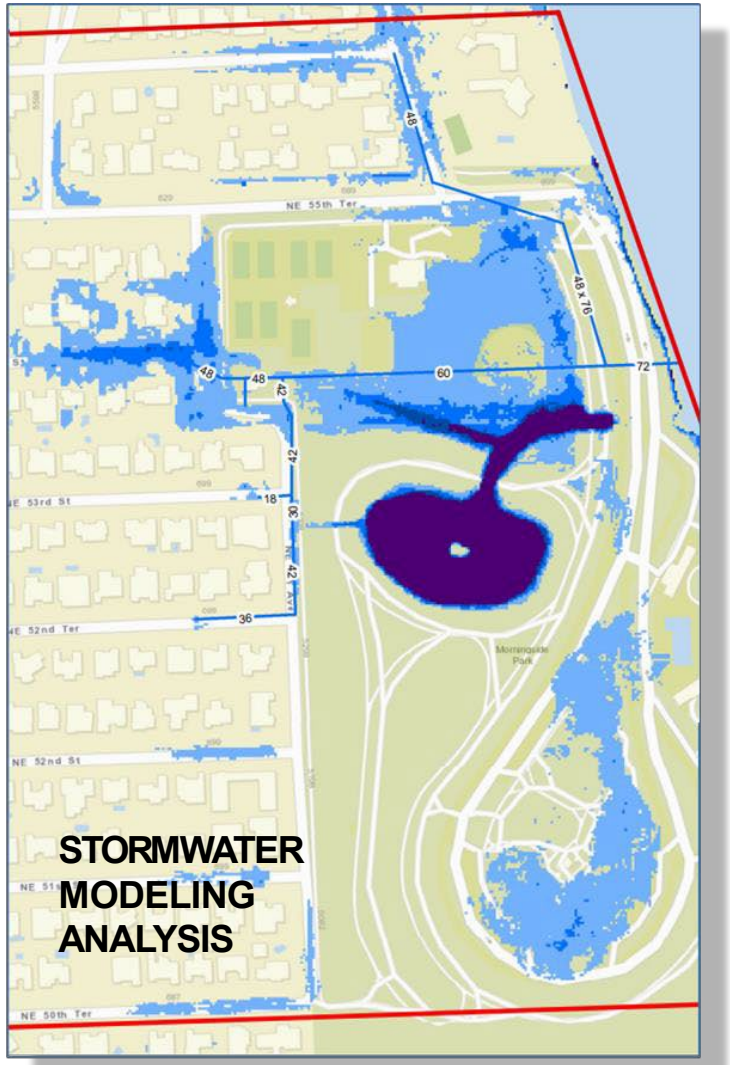
DRAFT LAYOUT

IMPROVEMENT GOALS

Flooding and Drainage (Neighborhood Drainage Management Plan)



EXISTING CONDITIONS



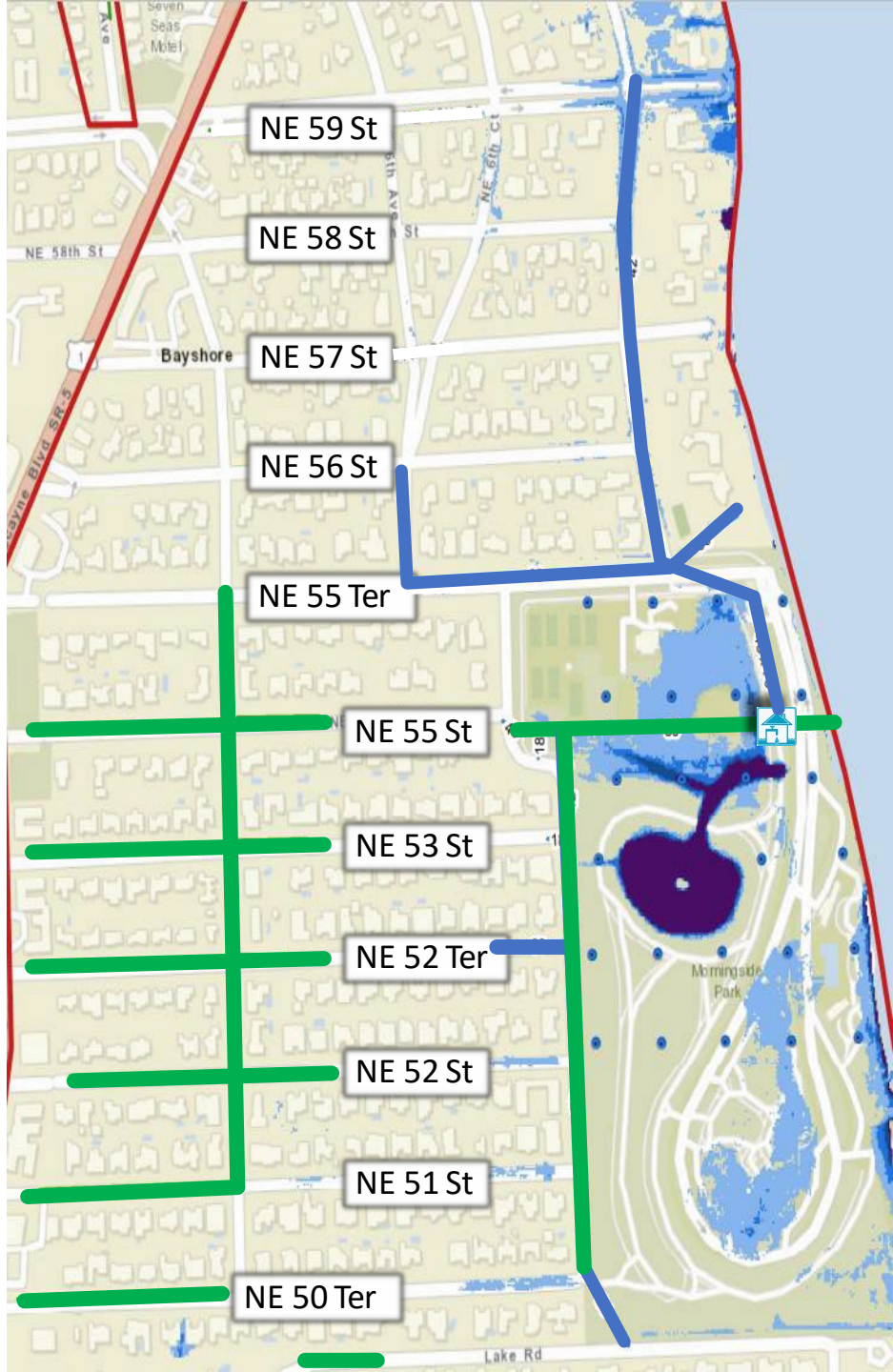
OUTFALL & DRAINAGE IMPROVEMENTS

PUMP STATION & INJECTION WELLS

IMPROVEMENT GOALS

Flooding and Drainage (Neighborhood Drainage Management Plan)

- ***Adapted*** from Citywide Stormwater Master Plan 2021.
- ***Comprehensive***, Citywide planning-level stormwater management strategies in a prioritized, phased program.
- ***July 16, 2021*** – Memo from City Manager to Commissioners. Morningside Park (Phase I & II) identified as immediate priorities based on historic flooding complaints.
- ***Phase I (Green)*** - $13.63 Million (Estimate) – Alleviate flooding by installing exfiltration trenches, outfall to the Bay, upsize inlets and pipes within NE 7 Avenue and NE 50 Terrace to 55 Terrace. 340 properties valued at $378 Million will benefit from this project.
- ***Phase II (Blue)*** - $19.42 Million (Estimate) – Alleviate flooding by installing exfiltration trenches, upsizing inlets and pipes, pump station and injection wells from Biscayne Blvd. to N. Bayshore Ct and NE 50 Ter to NE 59 St. 529 properties valued at 347 Million will benefit from this project.



IMPROVEMENT GOALS

Aquatic Pool Complex

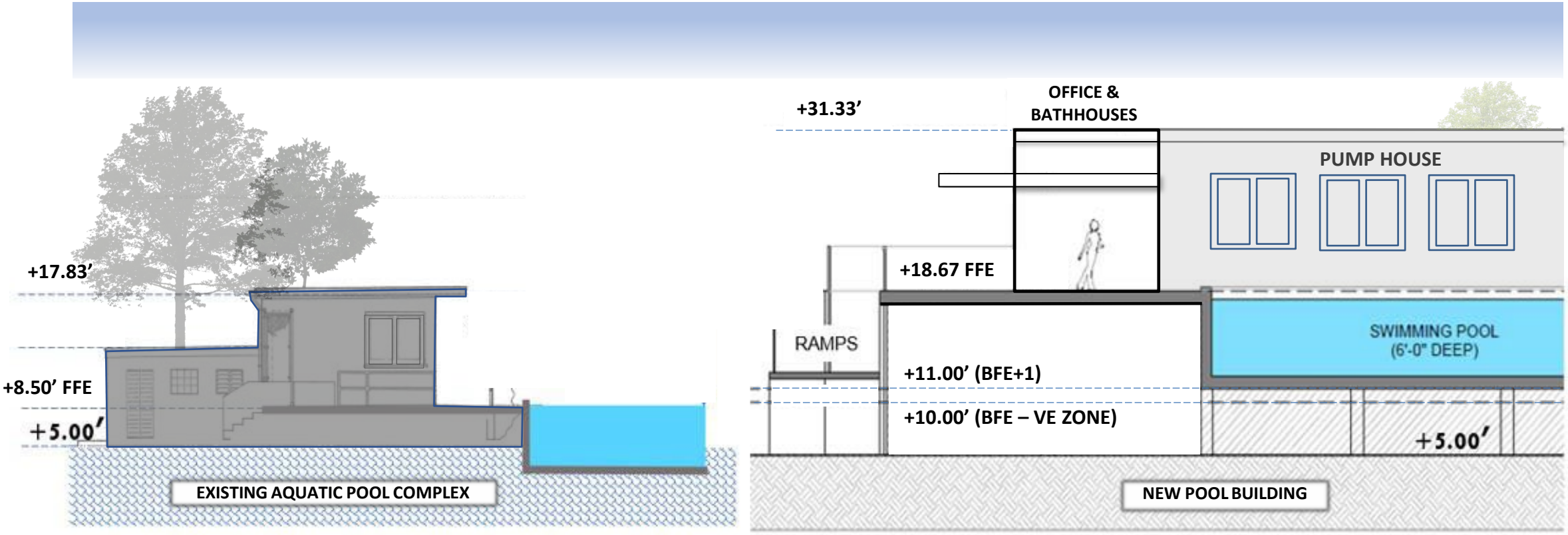
- ***January 23, 2020***, City Resolution R-20-0009 - To design a Capital Improvement Plan to Morningside Park that will keep the Pool at its current location.
- ***May 2020***, the General Plan was updated with the Pool in original location.
- ***January 2021***, City allocated funds to commence with the Pool Analysis & Design Phase.
- ***May 2021*** – Market/Code analysis report was completed and determined the existing aquatic pool complex cannot be repaired as it must comply with the current Florida Building Code and FEMA 50% Rule. Therefore, the building must be raised and rebuilt to meet current building codes.

IMPROVEMENT CHALLENGES

Pool Building Comparison

Existing Location

- New Pool Building Floor and Pool Deck — 10.17’ Higher than existing pool
- New Pool Building Height — 13.50’ Higher than existing pool



SOUTH ELEVATION LOOKING NORTH

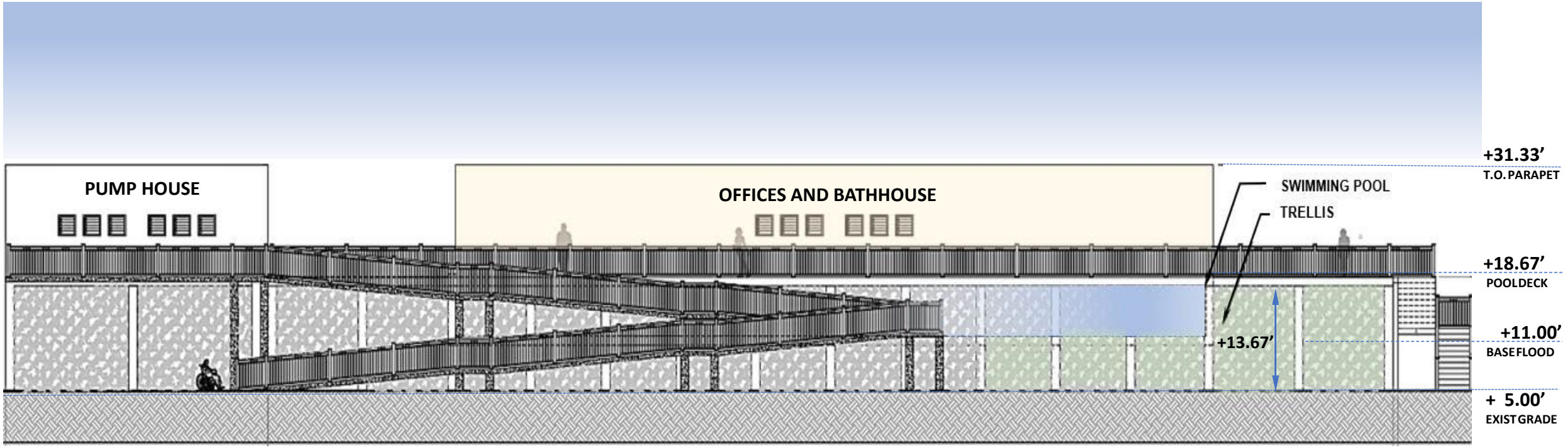
ILLUSTRATION ONLY
NOT TO SCALE

IMPROVEMENT CHALLENGES

ADA Ramp Layout

Existing Location

- The total length of ADA Ramp – Approximately 179 Feet (1:12)
- Minimum width of 36”
- Intermediate Level Landing along the overall ramp length



WEST ELEVATION LOOKING EAST

ILLUSTRATION ONLY
NOT TO SCALE

IMPROVEMENT CHALLENGES – Alternative General Plan

Pool Building Comparison

Proposed Location

- New Pool Building Floor and Pool Deck — 1.00’ Higher than Community Center
- New Pool Building Height — 11.09’ Lower than Community Center

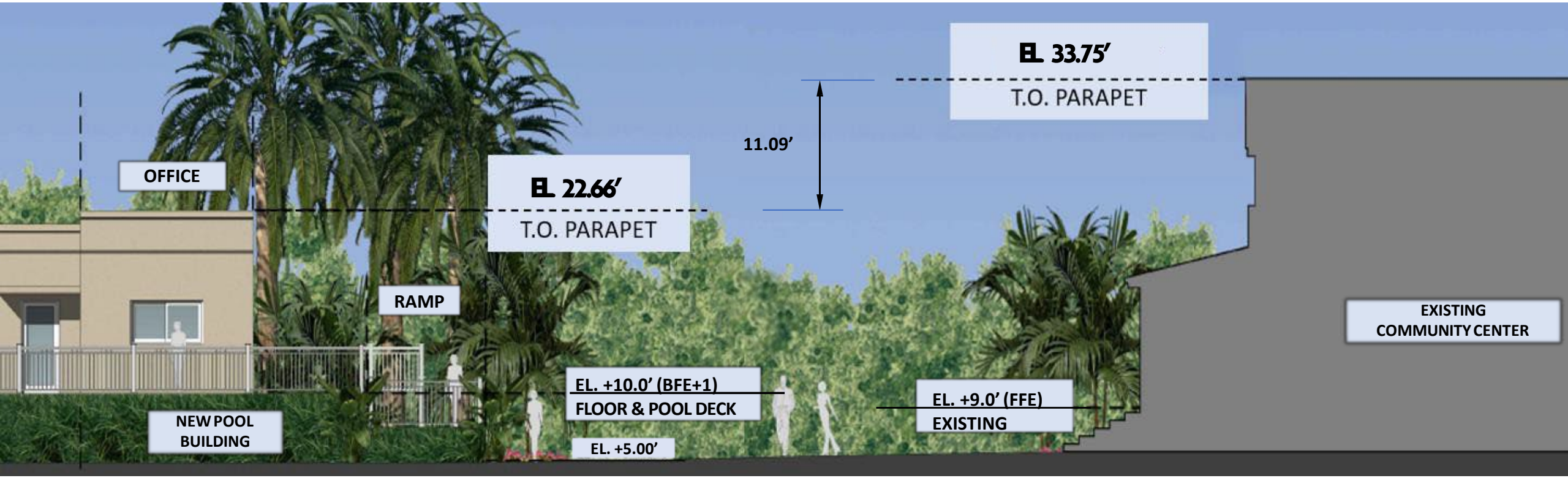


ILLUSTRATION ONLY
NOT TO SCALE


EXISTING
COMMUNITY
CENTER

IMPROVEMENT CHALLENGES

Aquatic Pool Complex – Benefits – Existing Location vs. Proposed Location to Rebuild

EXISTING LOCATION	PROPOSED LOCATION ADJACENT TO COMMUNITY CENTER
Considers Resiliency and Sea Level Rise	Considers Resiliency and Sea Level Rise
Retains Park Character	Opens access to bay and increase park safety and incredible bay view from the park
Incredible Bay View from the Pool Deck	Longer facility life span, promotes efficiency, programs, and reduces O&M cost / Life Cycle Cost
	Less impact from future sea-level rise and Storm Surges
	Creates usable park open space adjacent to the Bay.

IMPROVEMENTS

Living Shoreline and Baywalk Improvements

- ***Baywalk*** Construction (To comply with Miami 21 requirements):
  I. Seawall bulkhead at 6' NAVD to combat sea level rise.
  II. Minimum walkway width – 12'
  III. Permeable *materials* to allow stormwater to percolate into the ground.
- ***Raising*** portions of the existing road / realignment up to 1' from existing elevation
- ***Living Shoreline*** installation to reduce erosion and address sea level rise.
  I. Marsh Grass planting.
  II. No new mangrove plantings are proposed.
  III. Variable width based on site conditions but maximizes shoreline protection and stabilization and park usage or useable park space
- ***Permit*** to prune mangrove height and removal of non-mangrove trees.
- ***Multiple access ramps*** within the living shoreline area maximize entry to shoreline. Existing trailway to traverse among the marsh grass areas.
- ***Enhances*** bay view.

Photo (A) View of the North

Photo (B) View of the East

Photo (c) View of the South

Photos above show The Northern part of the Morningside Park Shoreline
Labeled **Section 1**

Photo (A) View of the North

Photo (B) View of the East

Photo (c) View of the South

Photos above show The Central part of the Morningside Park Shoreline
Labeled **Section 2**

Photo (A) View of the North

Photo (B) View of the East

Photo (c) View of the South

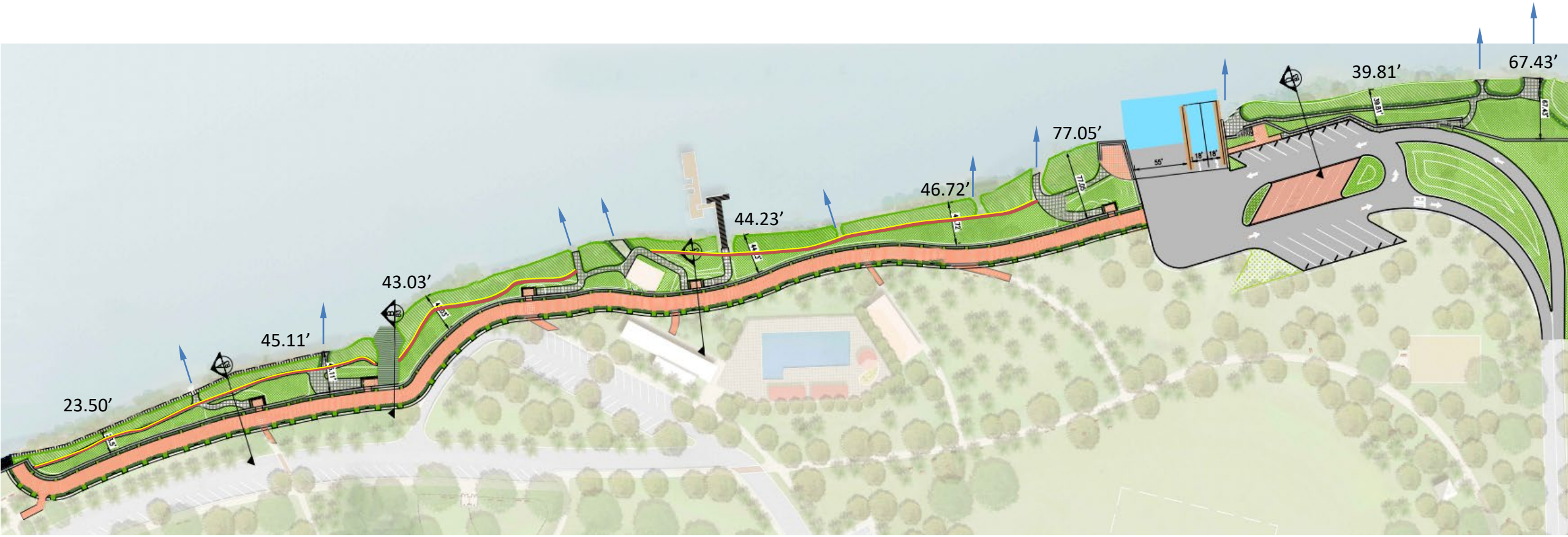
Morningside Park Shoreline Labeled **Section 3**

VEGETATION SURVEY

(Conducted in November 2020)

CHALLENGES
Living Shoreline and Baywalk Improvements

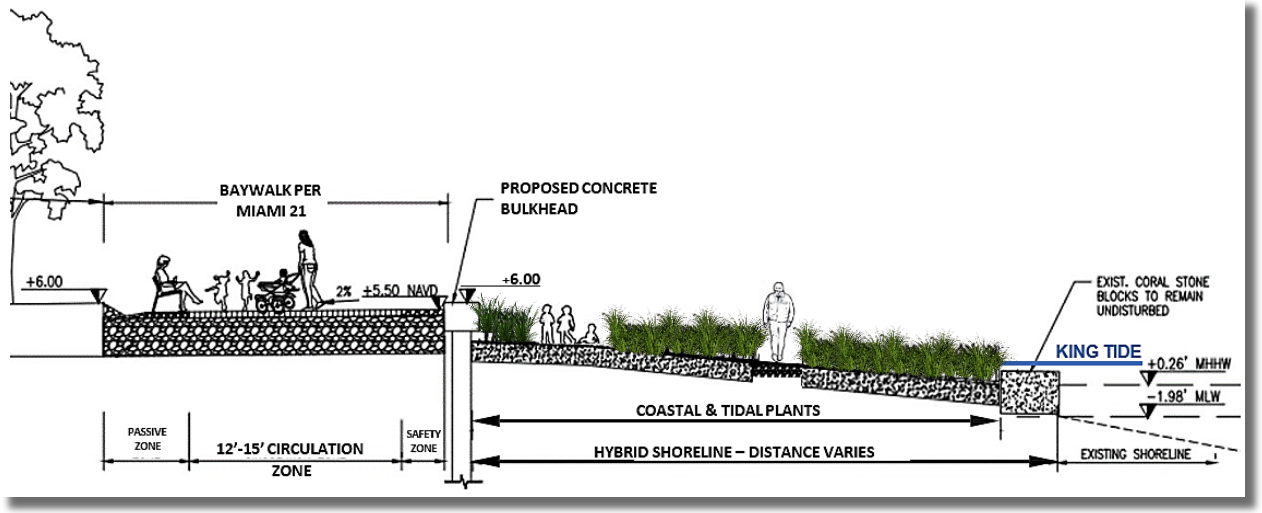
DRAFT LAYOUT



LANDING RAMP
PROPOSED BAYWALK
PERMEABLE PATHWAY
LIVING SHORELINE
BAY ACCESS
EXISTING TRAILWAY
EXISTING CORAL STONES

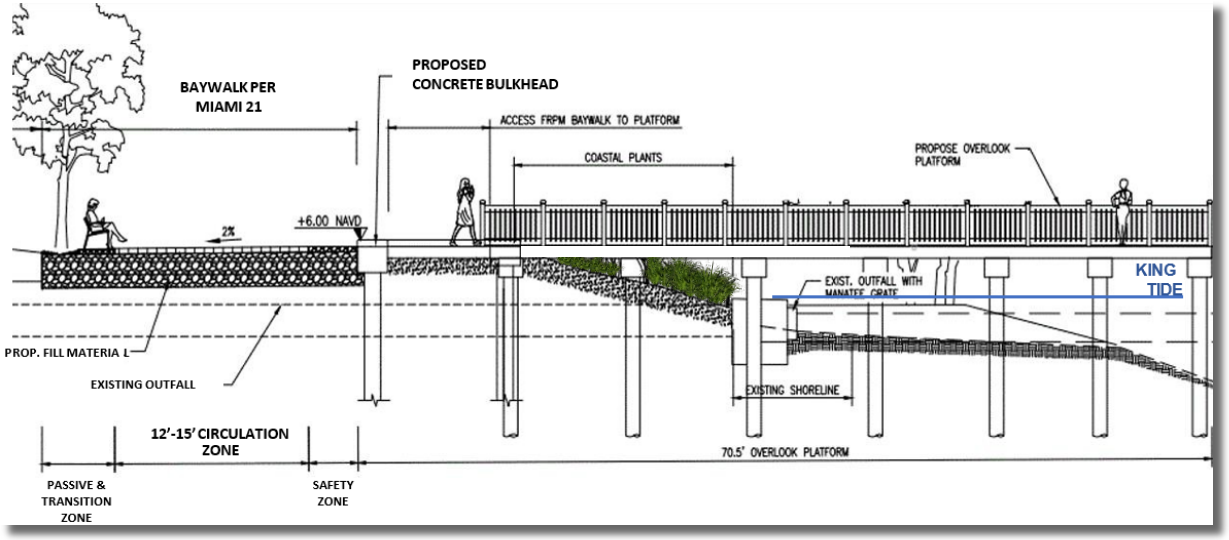
ILLUSTRATION ONLY
NOT TO SCALE

MORNINGSIDE PARK
BAYWALK & LIVING SHORELINE



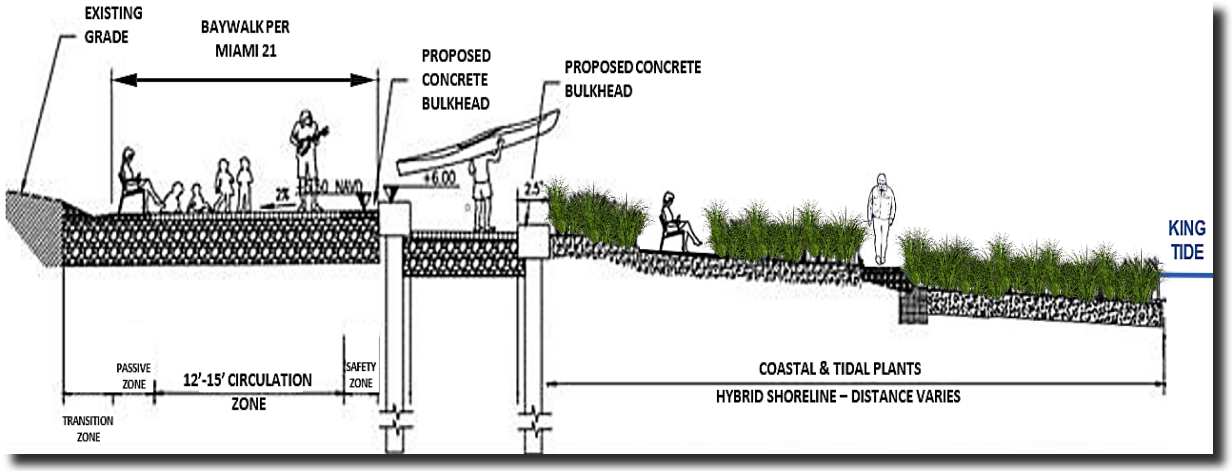
SECTION A

MORNINGSIDE PARK BAYWALK & LIVING SHORELINE



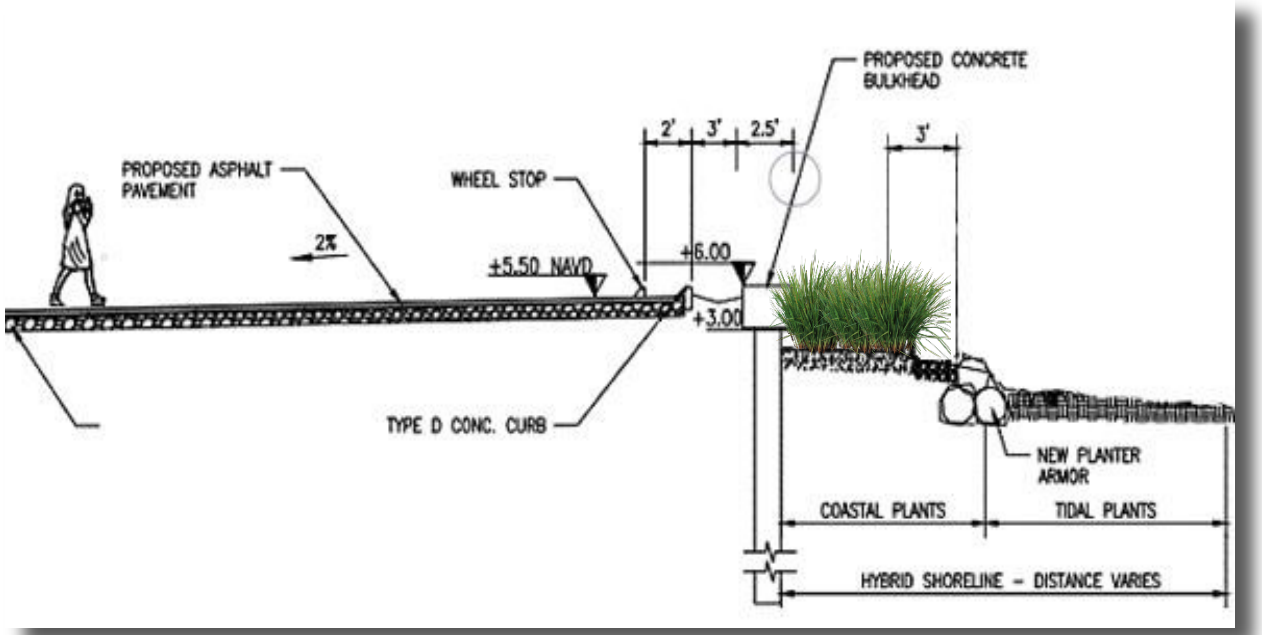
SECTION B

MORNINGSIDE PARK BAYWALK & LIVING SHORELINE



SECTION C

MORNINGSIDE PARK
BAYWALK & LIVING SHORELINE



SECTION D

CHALLENGES

Benefits for Living Shoreline and Baywalk Improvements – Complies with Strategic Goals

Miami Forever Climate Ready Strategy

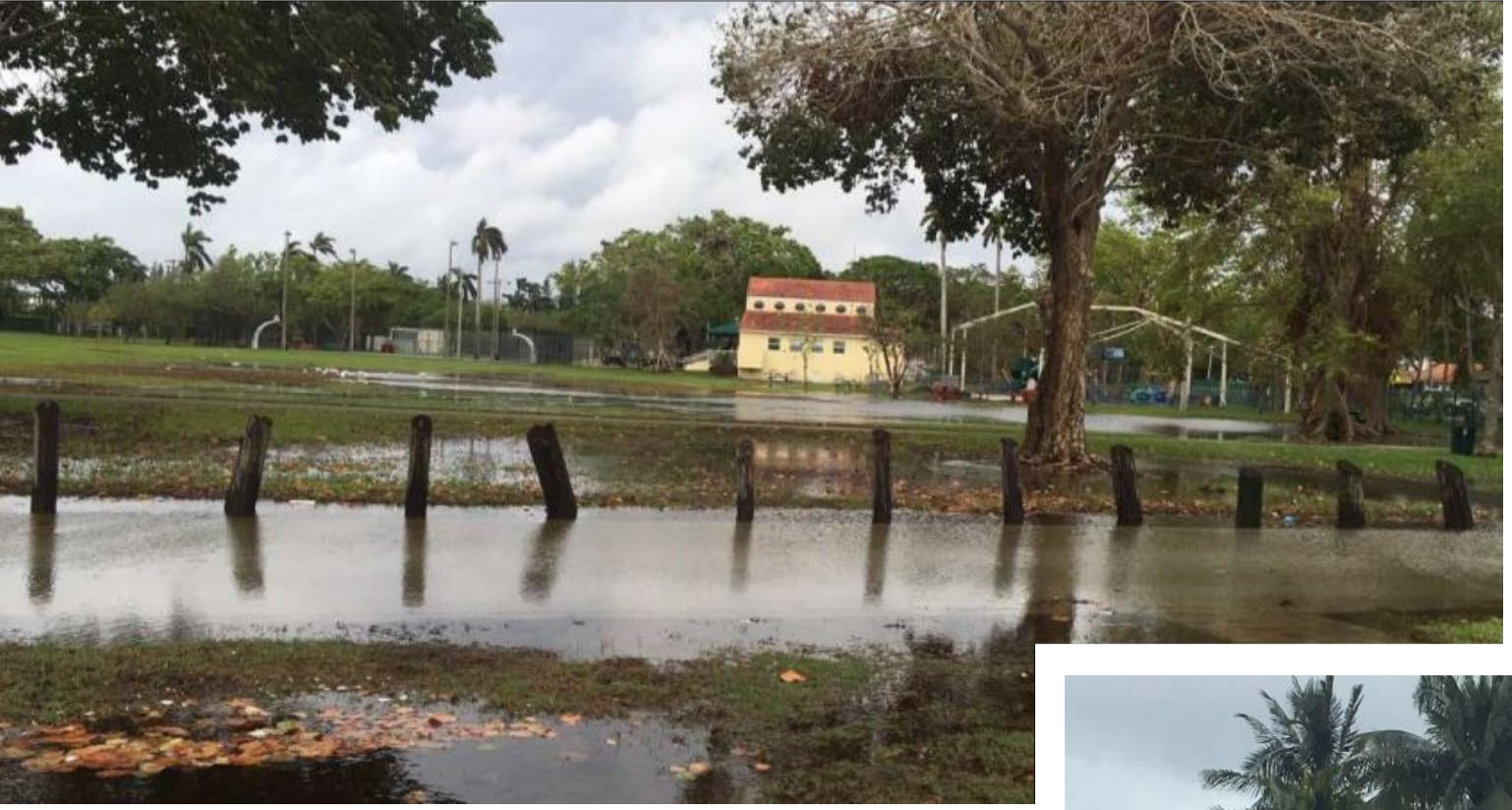
- ***Protect*** and enhance our waterfront
- ***Update*** city policy to ensure design scopes for city-owned waterfront and drainage projects prioritize and integrate green infrastructure.
- ***Use*** these demonstration projects to build partnerships and shared learning across agencies for new approaches to building resilience and supporting the health of Biscayne Bay.

Resilient 305 Strategy

- ***Enhance*** Natural Systems
- ***Preserve*** and Restore Biscayne Bay
- ***Expand*** Nature Based Infrastructure"
- ***Integrate*** Resilience into Parks and Open Spaces"
- ***Safeguar***d Urban Systems"
- ***Strengthen*** Resilience Planning"
- ***Design*** and implement green, blue and hybrid green/grey waterfront infrastructure projects

City of Miami Strategic Plan

- Objective 2.3.1 - ***Reduce*** severity, duration and impact of coastal and riverine flooding on shorelines and surrounding communities
- Objective 2.3.3 - ***Accelerate*** investment in features along the waterfront



Morningside Park

Sea Level Rise During King Tide Events

IMPROVEMENTS
Park Drainage Management Plan

PROPOSED LAYOUT

MORNINGSIDE CONCEPTUAL PARK DRAINAGE MASTER PLAN

- Catch Basin installations to collect stormwater at low elevations of the park
- Site grading to direct stormwater runoffs to catch basins in low lying areas
- Raising the elevations at roads, open spaces, walkways, ballfields and picnic areas
- Bioswales to provide natural irrigation to existing trees
- Install Exfiltration trenches to convey stormwater into the ground

Raised Terrain - Higher Elevation

Transition Terrain - High to Low

Low Terrain - Low Elevation

Exfiltration Trench with Inlets

Design Layout is subject to change

FUNDING

MORNIGSIDE PARK IMPROVEMENTS

Project	Description	Funding Status	Project Needs	Project Status	Cost Estimate (Low)	Cost Estimate (High)
Aquatic Pool Complex	Design and Construction of a new Pool Complex in the new proposed location adjacent to Community Center to avoid or minimize structural damage from severe storm events	Design Funded; Construction Not Funded	Pool Complex is required to rebuilt to current Building and Flooding codes	Design in Progress; Construction $6.6 Million* - $7.5 Million*	$6,600,000	$7,500,000
Park Master Plan	Design and Construction of Park Amenities and Facilities	Not Funded	Requires Park Upgrades to meet with Current Interests.	Design & Construction $14 Million - $18 Million	$14,000,000	$18,000,000
Park Drainage Plan	Design and Construction of a drainage system to eliminate or alleviate flooding conditions in the Park	Not Funded	Plan implemented in phases as development of Park Master Plan progress.	Design & Construction $2.5 Million - $3.5 Million	$2,500,000	$3,500,000
			TOTAL PARK COST		**$23,100,000**	**$29,000,000**

MORNINGSIDE NEIGHBORHOOD IMPROVEMENTS

Project	Description	Funding Status	Comment	Probable Cost Estimate	Cost Estimate (Low)	Cost Estimate (High)
Neighborhood Drainage Improvements	Design and Construction of a drainage system to eliminate or alleviate flooding conditions in the neighborhood	Not Funded	Improve drainage system to eliminate or alleviate flooding conditions in the neighborhood	Design & Construction $33 Million - $34 Million	**$33,000,000**	**$34,000,000**

MORNINGSIDE BAYWALK & SHOELINE IMPROVEMENTS

Project	Description	Funding Status	Comment	Probable Cost Estimate	Cost Estimate (Low)	Cost Estimate (High)
Shoreline and Baywalk	Design and Construction of a baywalk and living shoreline	Design Funded; Construction Not Funded	To address sea level rise, storm surge and park flooding concerns	Construction $13 Million - $14 Million	**$13,000,000**	**$14,000,000**

* Conceptual 2022 Estimated

SCHEDULE

Project	Duration	Possible Start Date	Possible End Date
Baywalk and Shoreline Improvements	3 years	5/1/2022	4/30/2025
Stormwater Drainage Management Plan - Roads	4 years	8/1/2022	7/31/2025
Park Master and Drainage Management Plan	3.5 years	11/1/2022	5/1/2026
Morningside Aquatic Pool Complex	3.5 years	1/2/2023	7/2/2026

Note: Projects are subject to funding prior to commencement

MORNINGSIDE PARK

Alternative General Plan

LEGEND

- PICNIC TABLE
- PAVILION
- RESTROOM
- EXISTING TREE

DRAFT LAYOUT

ADMINISTRATION RECOMMENDATION

A RESOLUTION OF THE MIAMI CITY COMMISSION APPROVING THE CONCEPTUAL DESIGN PARK MASTER PLAN TO IMPROVE MORNINGSIDE PARK PRESENTED BY THE ADMINISTRATION, ATTACHED AND INCORPORATED AS EXHIBIT A; RESCINDING ANY AND ALL PRIOR CONFLICTING RESOLUTIONS.

MORNINGSIDE PARK

PROPOSED PARK IMPROVEMENTS AND FUNDING REQUIREMENTS

QUESTIONS AND DISCUSSION